

IMPER RESIDENCE, 1998 CEDAR STREET

DRAWING INDEX:



ARCHITECT OF RECORD:
PATRICK MERVIN + ASSOCIATES
 4868 PETRIFIED FOREST ROAD
 CALISTOGA, CA 94515
 (707) 942-6540



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RESIDENTIAL REMODEL PROJECT:
IMPER RESIDENCE & GARAGE
 1998 CEDAR STREET, CALISTOGA, CA 94515
 APN 011-410-015-000

DATE: 9/8/2014
 SCALE: AS NOTED
 DRAWN: PMA
 JOB NO: 1402

SHEET NO:
A0.0



CONSULTANTS

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 (510) 762-2573
 CONTACT: BILL ROOP
 INFO@DIGSMART.COM

PROJECT DATA

OWNER: GRANT & CAROL IMPER
 1347 DUKE WAY, SAN JOSE, CA 95125
 (408) 489-5633 / (408) 839-5443

OWNER'S CONTACT: 1998 CEDAR STREET, CALISTOGA CA 94515
 011-410-015-000
 MEDIUM DENSITY RESIDENTIAL

PROJECT ADDRESS: 1998 CEDAR STREET, CALISTOGA CA 94515
AP NUMBER: 011-410-015-000

GENERAL PLAN DESIGNATION: R-1
ZONE: EXEMPT
GROWTH MANAGEMENT ALLOCATION: SINGLE FAMILY RESIDENCE
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V B
FEMA FLOOD ZONE: NO
STORIES / BUILDING HEIGHT: ONE STORY / 15'-0" (< 25-FT)
PROPOSED HOUSE: TWO STORIES / 19'-0" (< 25-FT)
PROPOSED GARAGE: ONE STORY / 17'-6" (< 25-FT)
EXISTING SHED: 0.1 ACRES / 30,302 SQ FT

SIZE OF SITE: 17,997 SQ FT
SITE AREA NOT INCLUDING CREEK: 17,997 SQ FT
BUILDABLE AREA NOT INCLUDING SETBACKS: 5,304 SQ FT
EXISTING LOT COVERAGE BY STRUCTURES: 14.9%
PROPOSED LOT COVERAGE BY STRUCTURES: 31.9% (< 30%)
PERMEABLE PATIO AREA: 2,300 SQ FT
LANDSCAPE AREA: 7,620 SQ FT + 1,180 SQ FT AT SIDEWALK STRIPS
PERMEABLE PARKING / DRIVEWAY: 410 SQ FT
PARKING SPACES: TWO IN GARAGE
AREA DATA: (MEASURED AT INTERIOR CORNERS)
 EXISTING HOUSE: 1,988 SQ FT
 EXISTING BARN (GARAGE): 199 SQ FT + 378 SQ FT LOFT
 EXISTING SHED: 230 SQ FT
 EXISTING PORCHES: 716 SQ FT
 PROPOSED HOUSE: 165 EXISTING + 2,836 NEW = 3,028 SQ FT
 PROPOSED BARN (1ST FLOOR): 799 EXISTING + 113 NEW = 852 SQ FT + 378 SQ FT. LOFT
 PROPOSED SHED: 230 SQ FT (NO CHANGE)
 PROPOSED PORCH: 286 EXISTING + 1,295 NEW = 1,520 SQ FT.

UTILITIES:
WATER: (E) CITY WATER
SEPTIC: (E) CITY SEWER (ON-SITE SYSTEM DEMO'D 1994 PER NAPA CTY PERMIT)
ELECTRIC: (E) P3 SE
GAS: (E) NATURAL GAS

HISTORIC RESOURCE ASSESSMENT

REFER TO REPORT PREPARED BY DIANA PAINTER DATED 4/14 & LETTER OF REVIEW DATED 9/16/14

ARBORIST REPORT

REFER TO REPORT PREPARED BY PACIFIC TREE CARE DATED 1/12

GEOTECHNICAL REPORT

REFER TO REPORT PERFORMED BY BAUER ASSOCIATES DATED 8/15/11 & LETTER OF REVIEW DATED 2/19/13

CULTURAL RESOURCES EVALUATION

REFER TO REPORT PERFORMED BY ARCHAEOLOGICAL RESOURCES GROUP DATED 9/18/13

BIOLOGICAL RESOURCE ASSESMENT

REFER TO REPORT PERFORMED BY ENVIRONMENTAL COLLABORATIVE DATED 3/20/14

ABBREVIATIONS

AB	ABOVE	ASV	AIR CONDITIONING	BA	BOARD	BB	BEDROOM
AD	ADJACENT	BS	BESTRENGTHEN	BD	BEDROOM	BT	BATH
AL	ALTERNATE	BL	BLOCKING	BG	BREAK ROOM	BU	BUILDING
AM	ADJUST	BR	BREASTING PLATFORM	BS	BESTRENGTHEN	BT	BATH
AN	ANALYTICAL	BT	BOTTOM	BU	BUILDING	BU	BUILDING
AR	ARCHITECTURAL	BS	BESTRENGTHEN	BU	BUILDING	BU	BUILDING
AS	ASBESTOS	BT	BOTTOM	BU	BUILDING	BU	BUILDING
AV	AUTOMATIC	BU	BUILDING	BU	BUILDING	BU	BUILDING
AW	AWAY	BT	BOTTOM	BU	BUILDING	BU	BUILDING
AX	AXIS	BU	BUILDING	BU	BUILDING	BU	BUILDING
AY	AXIS	BU	BUILDING	BU	BUILDING	BU	BUILDING
AZ	AXIS	BU	BUILDING	BU	BUILDING	BU	BUILDING
BA	BOARD	BU	BUILDING	BU	BUILDING	BU	BUILDING
BB	BEDROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BC	BESTRENGTHEN	BU	BUILDING	BU	BUILDING	BU	BUILDING
BD	BEDROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BE	BESTRENGTHEN	BU	BUILDING	BU	BUILDING	BU	BUILDING
BF	BESTRENGTHEN	BU	BUILDING	BU	BUILDING	BU	BUILDING
BG	BREAK ROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BH	BREAK ROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BI	BREAK ROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BJ	BREAK ROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BK	BREAK ROOM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BL	BLOCKING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BM	BLOCKING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BN	BLOCKING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BO	BLOCKING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BP	BLOCKING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BQ	BLOCKING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BR	BREASTING PLATFORM	BU	BUILDING	BU	BUILDING	BU	BUILDING
BS	BESTRENGTHEN	BU	BUILDING	BU	BUILDING	BU	BUILDING
BT	BATH	BU	BUILDING	BU	BUILDING	BU	BUILDING
BU	BUILDING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BV	BUILDING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BW	BUILDING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BX	BUILDING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BY	BUILDING	BU	BUILDING	BU	BUILDING	BU	BUILDING
BZ	BUILDING	BU	BUILDING	BU	BUILDING	BU	BUILDING

SYMBOL LEGEND

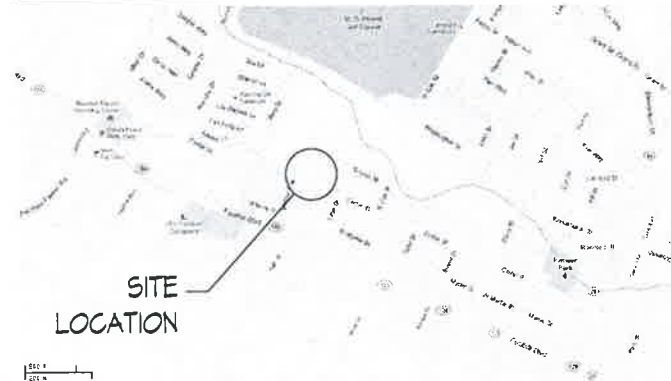
(A1)	SECTION DESIGNATOR
(A1)	SHEET NUMBER
(A1)	DETAIL DESIGNATOR
(A1)	SHEET NUMBER
(A1)	INTERIOR ELEVATION DESIGNATOR
(A1)	DOOR NUMBER
(A1)	SHEET NUMBER
(A1)	WINDOW NUMBER
(A1)	SHEET NUMBER
(A)	COLUMN DESIGNATOR
(A)	SHEET NOTE NUMBER
(E)	ELEVATION DATUM
(S)	SHEAR WALL DESIGNATOR
(S)	SHEET NUMBER
(F.E.)	PROPOSED LOCATION OF FIRE EXTINGUISHER

MATERIAL LEGEND

[Pattern]	CONCRETE
[Pattern]	STEEL
[Pattern]	EARTH
[Pattern]	GYPHUM BOARD
[Pattern]	FILL/SAND
[Pattern]	GRAVEL
[Pattern]	INSULATION
[Pattern]	WOOD STUD
[Pattern]	METAL STUD
[Pattern]	STRUCTURE

CONSTRUCTION TO COMPLY WITH THE FOLLOWING CODES & REGULATIONS:
 2013 CALIFORNIA RESIDENTIAL CODE (CRC)
 2013 CALIFORNIA BUILDING CODE (CBC)
 2013 CALIFORNIA MECHANICAL CODE (CMC)
 2013 CALIFORNIA ELECTRICAL CODE (CEC)
 2013 CALIFORNIA PLUMBING CODE (CPC)
 2009 CALIFORNIA ENERGY CODE SUPPLEMENT (CEC) - EFFECTIVE 1/1/14 TO 6/30/14
 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
 2013 CALIFORNIA FIRE CODE (CFC)
 2013 CALIFORNIA EXISTING BUILDING CODE
 ALL CURRENT LOCAL CODES & ORDINANCES

VICINITY MAP:



SITE LOCATION

TITLE SHEET

RECEIVED

SEP 25 2014

CITY OF CALISTOGA



PATRICK MERVIN + ASSOCIATES
 ARCHITECTS
 4866 PETRIFIED FOREST ROAD
 CALISTOGA, CA 94515
 (707) 942-6540



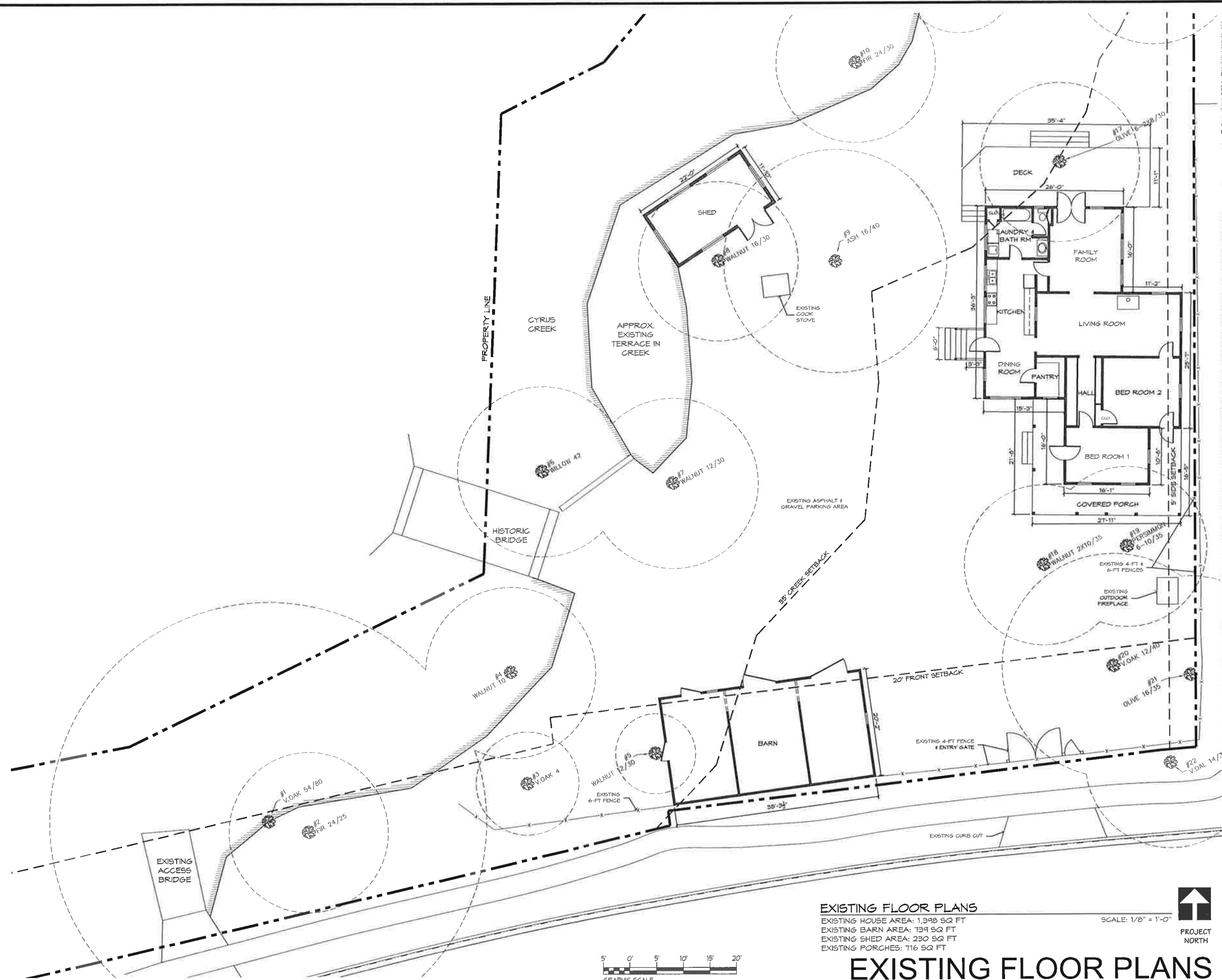
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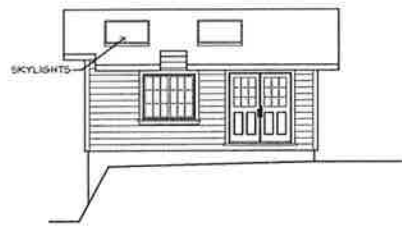
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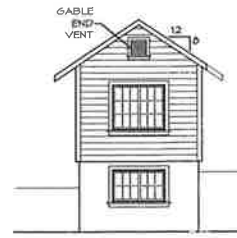
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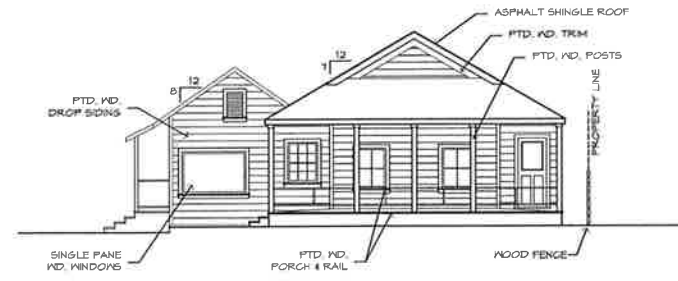
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SHED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SHED WEST ELEVATION
SCALE: 1/8" = 1'-0"



HOUSE SOUTH ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



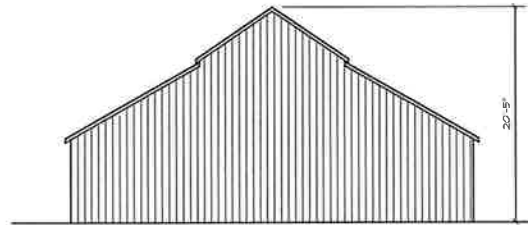
SHED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



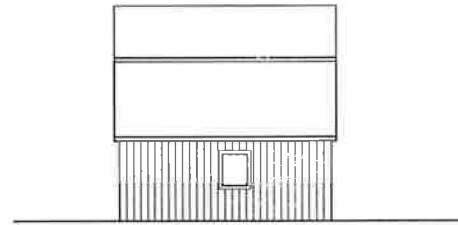
SHED EAST ELEVATION
SCALE: 1/8" = 1'-0"



HOUSE WEST ELEVATION (CREEK SIDE)
SCALE: 1/8" = 1'-0"



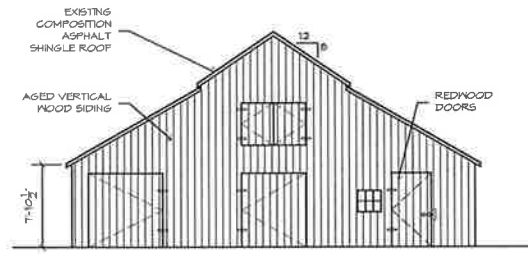
BARN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



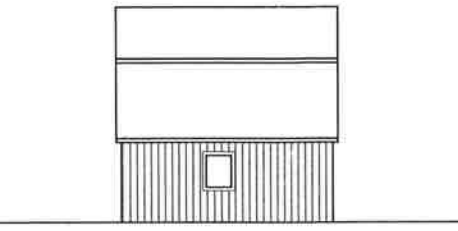
BARN WEST ELEVATION
SCALE: 1/8" = 1'-0"



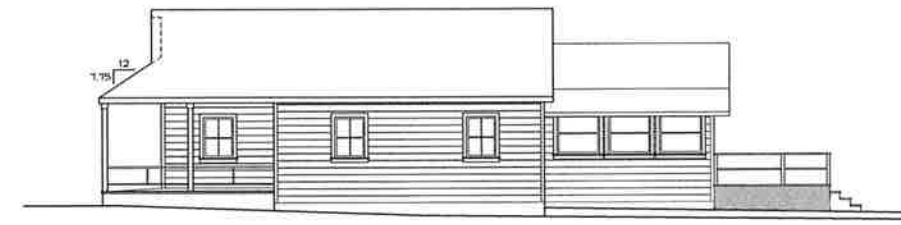
HOUSE NORTH ELEVATION (BACK)
SCALE: 1/8" = 1'-0"



BARN NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BARN EAST ELEVATION
SCALE: 1/8" = 1'-0"



HOUSE EAST ELEVATION (NEIGHBOR SIDE)
SCALE: 1/8" = 1'-0"

EXISTING EXTERIOR ELEVATIONS



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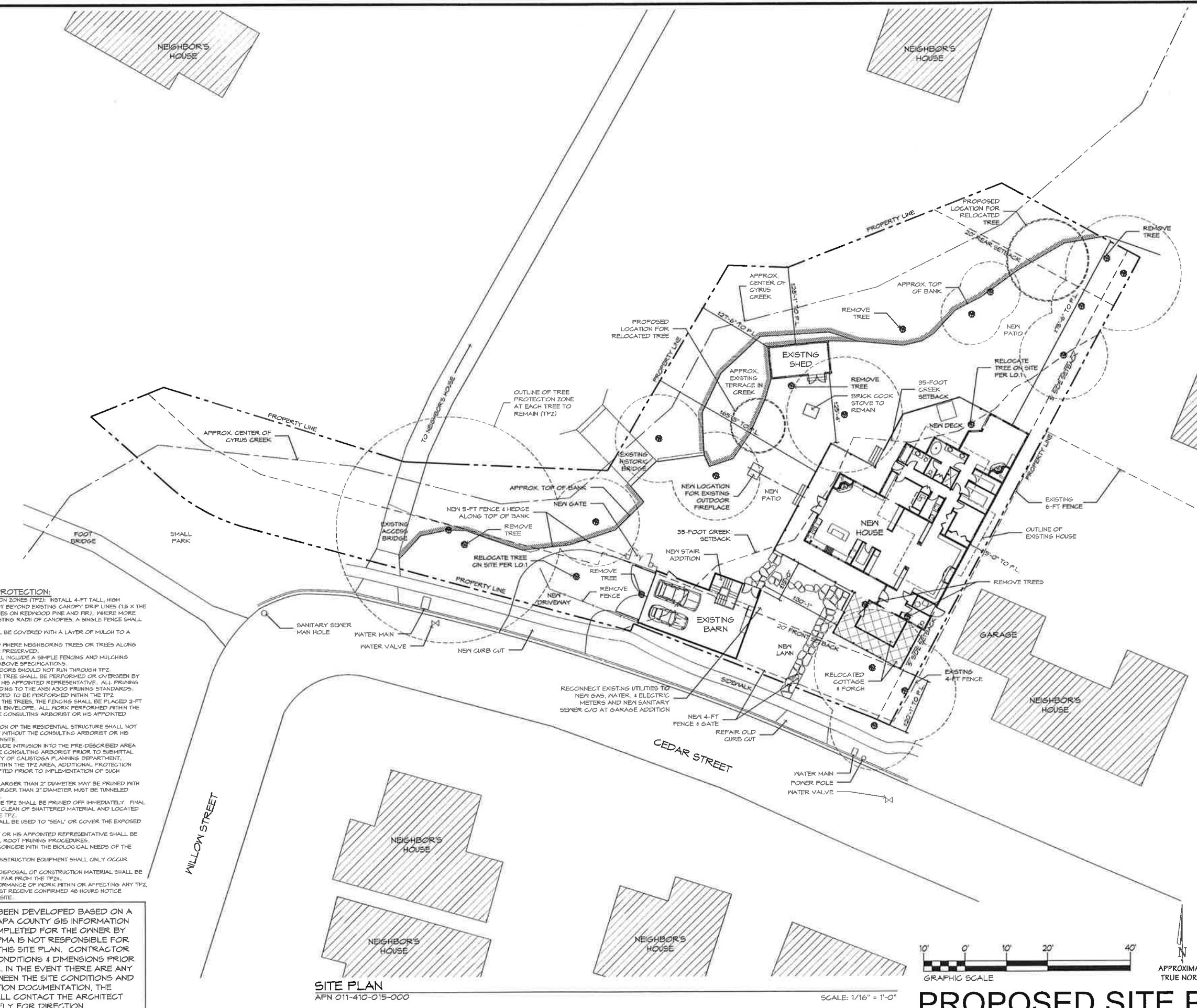
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GUIDELINES FOR TREE PROTECTION:

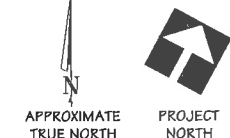
1. ESTABLISH THE TREE PROTECTION ZONES (TPZ). INSTALL 4-FT TALL, HIGH VISIBILITY FENCING AT ONE FOOT BEYOND EXISTING CANOPY DRIP LINES (1.5 X THE DIAMETER OF CANOPY DRIP LINES ON REDWOOD PINE AND FIR), WHERE MORE THAN ONE TREE SHARE THE EXISTING RADII OF CANOPIES, A SINGLE FENCE SHALL BE INSTALLED.
2. THE AREA WITHIN THE TPZ SHALL BE COVERED WITH A LAYER OF MULCH TO A DEPTH OF 6" TO 8".
3. GUIDELINES SHALL BE MODIFIED WHERE NEIGHBORING TREES OR TREES ALONG THE PROPERTY LINE ARE TO BE PRESERVED.
- 3.1. THESE MODIFICATIONS SHALL INCLUDE A SIMPLE FENCING AND MULCHING PROCEDURE, MEETING THE ABOVE SPECIFICATIONS.
4. UTILITIES AND DRAINAGE CORRIDORS SHOULD NOT RUN THROUGH TPZ.
5. PRUNING OF ANY PARTS OF THE TREE SHALL BE PERFORMED OR OVERSEEN BY THE CONSULTING ARBORIST OR HIS APPOINTED REPRESENTATIVE. ALL PRUNING SHALL BE PERFORMED ACCORDING TO THE ANSI A300 PRUNING STANDARDS.
6. WHERE CONSTRUCTION IS INTENDED TO BE PERFORMED WITHIN THE TPZ UNDERNEATH THE CANOPIES OF THE TREES, THE FENCING SHALL BE PLACED 2-FT OUTSIDE OF THE CONSTRUCTION ENVELOPE. ALL WORK PERFORMED WITHIN THE TPZ MUST BE OVERSEEN BY THE CONSULTING ARBORIST OR HIS APPOINTED REPRESENTATIVE.
7. DEMOLITION OR RECONSTRUCTION OF THE RESIDENTIAL STRUCTURE SHALL NOT INTRUDE WITHIN THE ROOT ZONE WITHOUT THE CONSULTING ARBORIST OR HIS APPOINTED REPRESENTATIVE ON-SITE.
- 7.1. ALL PLANS WHICH MAY INCLUDE INTRUSION INTO THE PRE-DESCRIBED AREA SHALL BE REVIEWED BY THE CONSULTING ARBORIST PRIOR TO SUBMITTAL FOR APPROVAL OF THE CITY OF CALISTOGA PLANNING DEPARTMENT.
12. IF UTILITIES ARE PLANNED WITHIN THE TPZ AREA, ADDITIONAL PROTECTION GUIDELINES SHALL BE ADOPTED PRIOR TO IMPLEMENTATION OF SUCH PROCEDURES.
8. SOIL EXCAVATION: NO ROOTS LARGER THAN 2" DIAMETER MAY BE PRUNED WITH PROTECTED TREES. ROOTS LARGER THAN 2" DIAMETER MUST BE TUNNELED UNDER AND TISSUE LEFT INTACT.
9. ANY ROOTS FOUND BEYOND THE TPZ SHALL BE PRUNED OFF IMMEDIATELY. FINAL ROOT PRUNING CUTS SHALL BE CLEAN OF SHATTERED MATERIAL AND LOCATED OUTSIDE THE FENCE LINE OF THE TPZ.
- 9.1. NO CHEMICAL OR WRAP SHALL BE USED TO "SEAL" OR COVER THE EXPOSED TISSUES.
- 9.2. THE CONSULTING ARBORIST OR HIS APPOINTED REPRESENTATIVE SHALL BE ON-SITE TO SUPERVISE FINAL ROOT PRUNING PROCEDURES.
10. THE FINAL LANDSCAPE SHALL CONSIDER WITH THE BIOLOGICAL NEEDS OF THE EXISTING TREES.
11. PARKING OF VEHICLES AND CONSTRUCTION EQUIPMENT SHALL ONLY OCCUR OUTSIDE FENCED TPZs.
12. CLEANING OF EQUIPMENT AND DISPOSAL OF CONSTRUCTION MATERIAL SHALL BE DONE OFF-SITE OR IN AN AREA FAR FROM THE TPZs.
13. NOTIFICATION: PRIOR TO PERFORMANCE OF WORK WITHIN OR AFFECTING ANY TPZ, THE CONSULTING ARBORIST MUST RECEIVE CONFIRMED 48 HOURS NOTICE REQUESTING HIS PRESENCE ON-SITE.

THIS SITE PLAN HAS BEEN DEVELOPED BASED ON A COMBINATION OF NAPA COUNTY GIS INFORMATION AND A SURVEY COMPLETED FOR THE OWNER BY ALBION SURVEYS. PMA IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS SITE PLAN. CONTRACTOR TO VERIFY ALL (E) CONDITIONS & DIMENSIONS PRIOR TO BEGINNING WORK. IN THE EVENT THERE ARE ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE CONSTRUCTION DOCUMENTATION, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR DIRECTION.

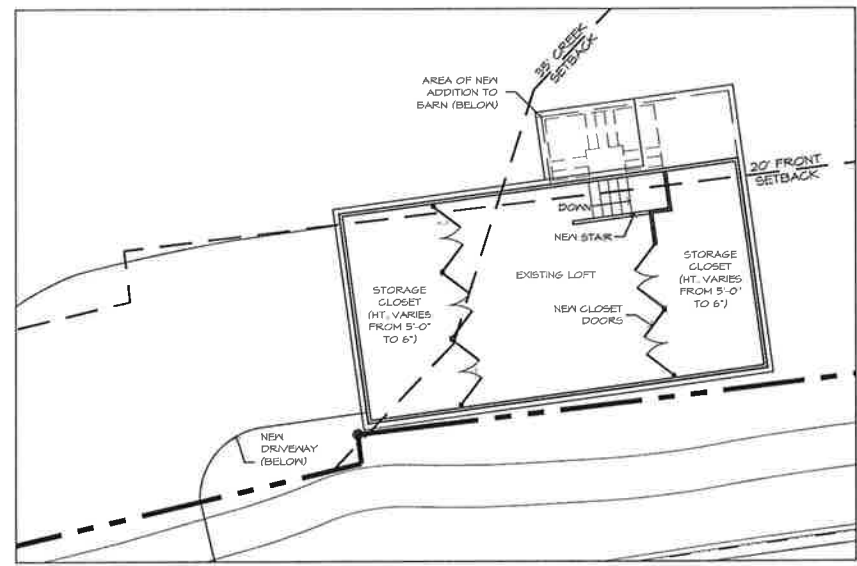
SITE PLAN
APN 011-410-015-000



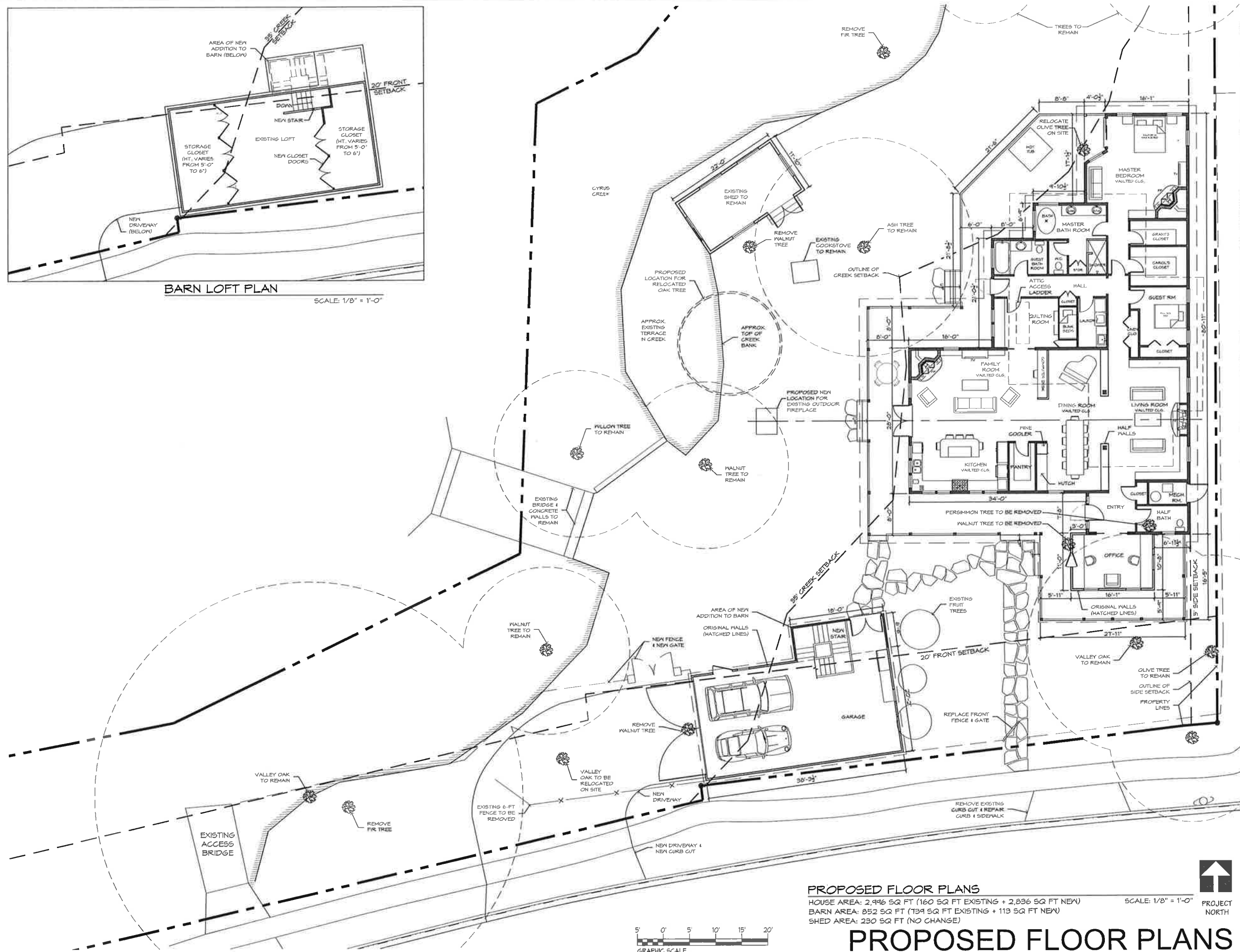
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PROPOSED SITE PLAN

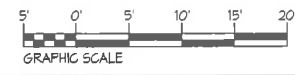


BARN LOFT PLAN
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLANS
 HOUSE AREA: 2,996 SQ FT (160 SQ FT EXISTING + 2,836 SQ FT NEW)
 BARN AREA: 852 SQ FT (739 SQ FT EXISTING + 113 SQ FT NEW)
 SHED AREA: 230 SQ FT (NO CHANGE)

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLANS



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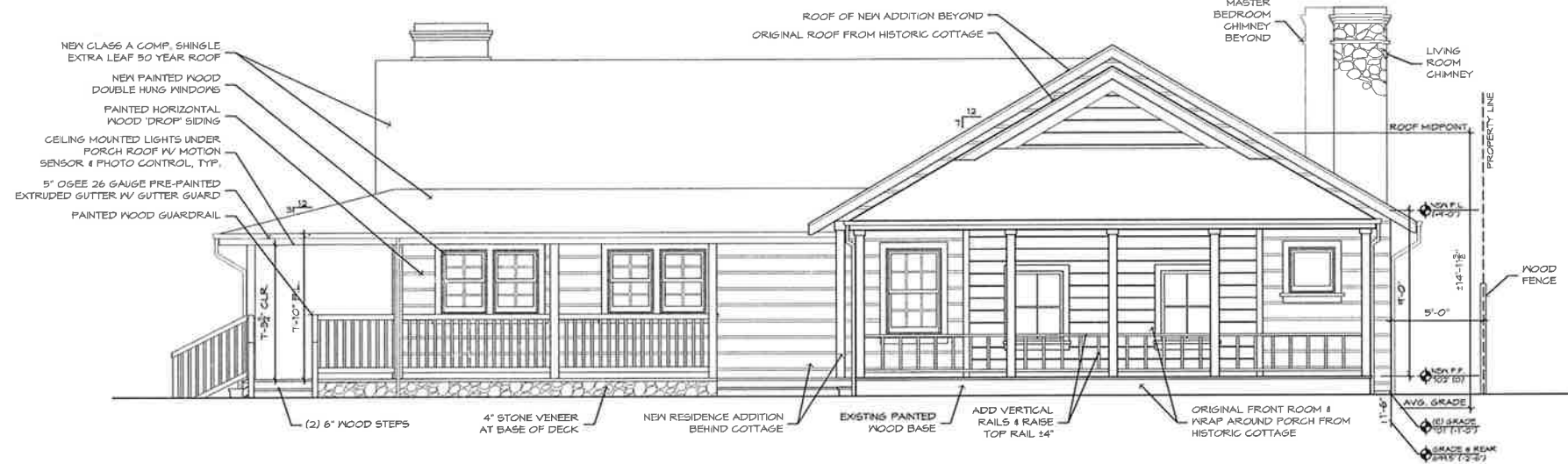


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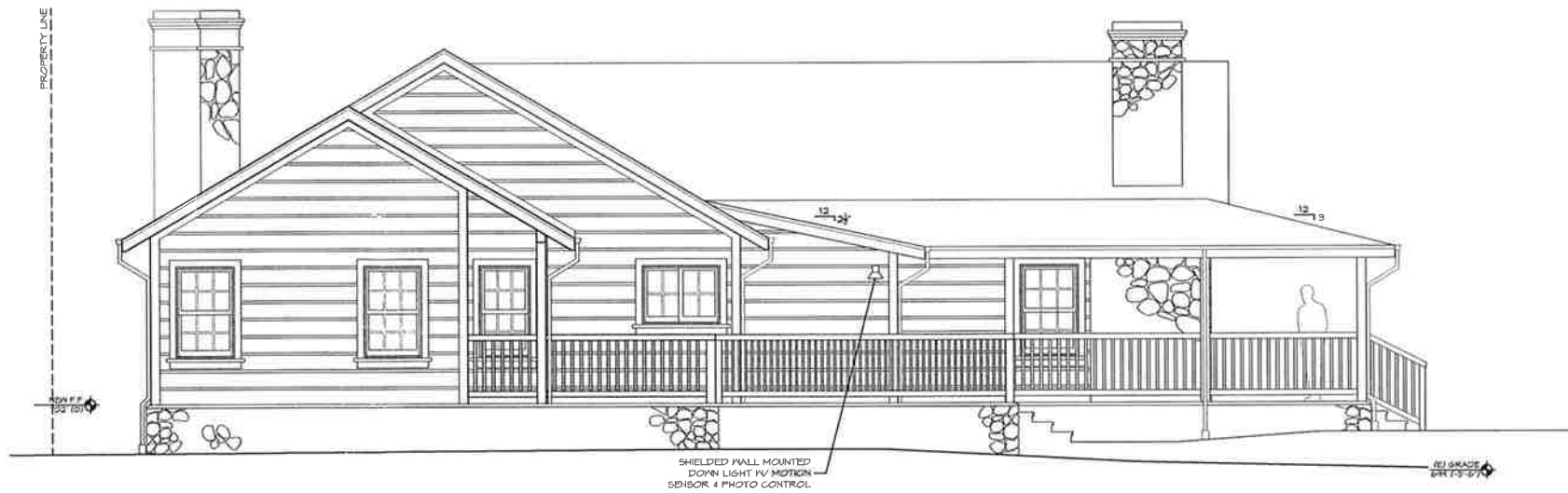
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SHEET NO.:	A2.0



HOUSE SOUTH ELEVATION (FACING STREET)

SCALE: 1/4" = 1'-0"



HOUSE NORTH ELEVATION (BACK)

SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS



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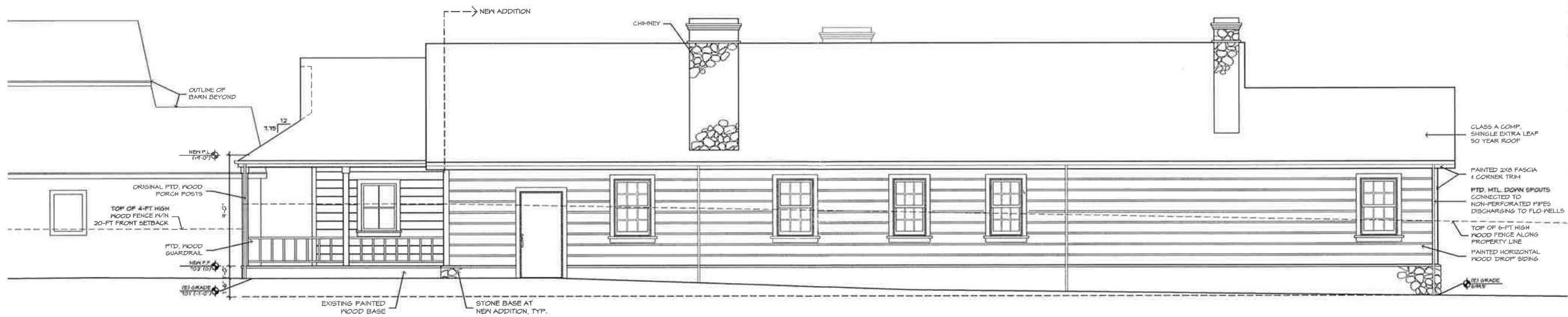
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HOUSE WEST ELEVATION (FACING CREEK)

SCALE: 1/4" = 1'-0"



HOUSE EAST ELEVATION (FACING NEIGHBOR)

SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS



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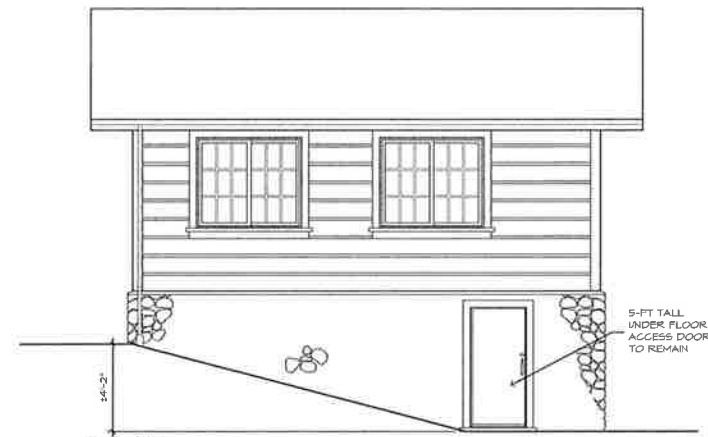
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RESIDENTIAL REMODEL PROJECT:
IMPER RESIDENCE & GARAGE
 1998 CEDAR STREET, CALISTOGA, CA 94515
 APN 011-410-015-000

DATE: 5/8/2014
 SCALE: AS NOTED
 DRAWN: PMA
 JOB NO. 1402

SHEET NO:
A3.1



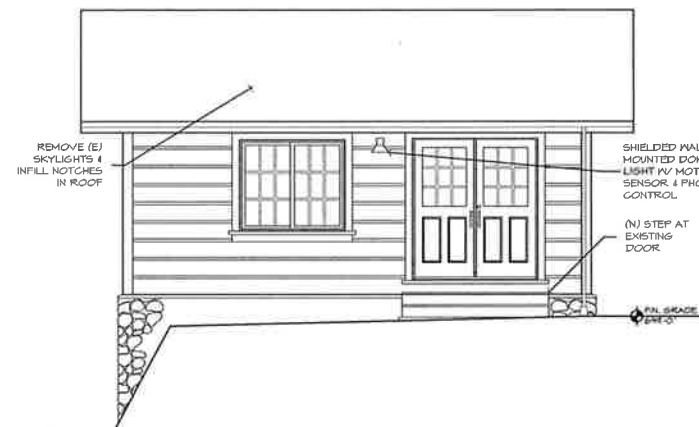
SHED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



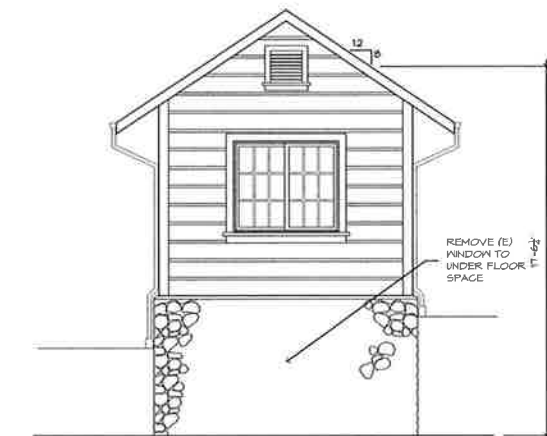
SHED EAST ELEVATION

SCALE: 1/4" = 1'-0"



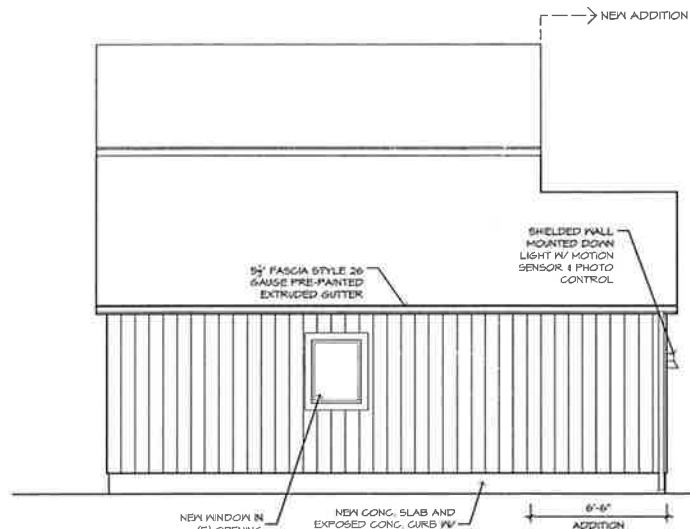
SHED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



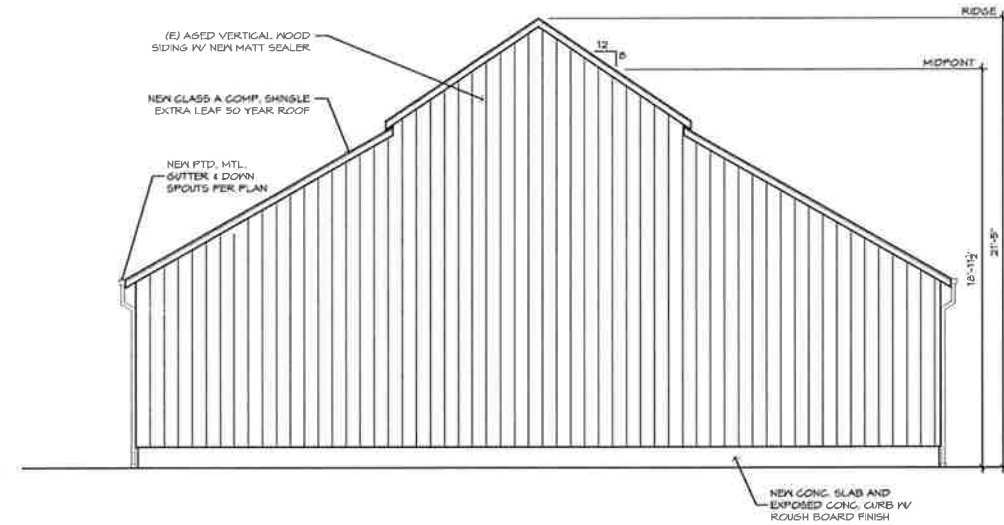
SHED WEST ELEVATION

SCALE: 1/4" = 1'-0"



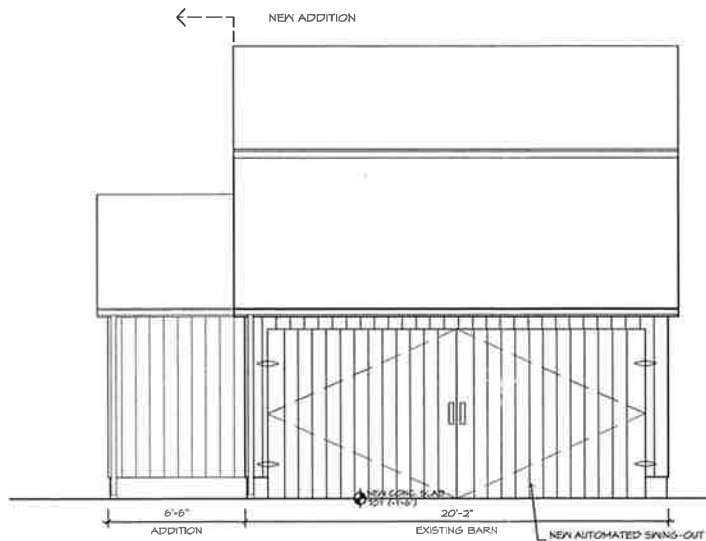
GARAGE EAST ELEVATION

SCALE: 1/4" = 1'-0"



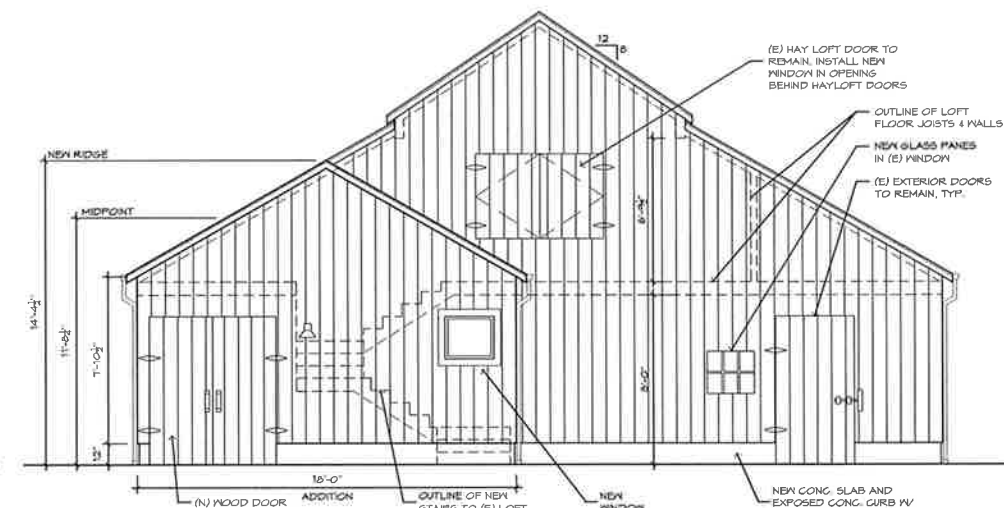
GARAGE SOUTH ELEVATION (FACING STREET)

SCALE: 1/4" = 1'-0"



GARAGE WEST ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PATRICK MERVIN + ASSOCIATES

ARCHITECT OF RECORD:
PATRICK MERVIN + ASSOCIATES
 PATRICK MERVIN AIA
 4868 PETRIFIED FOREST ROAD
 CALISTOGA, CA 94515
 (707) 442-6540



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RESIDENTIAL REMODEL PROJECT:
IMPER RESIDENCE & GARAGE
 1998 CEDAR STREET, CALISTOGA, CA 94515
 APN 011-410-015-000

DATE: 9/8/2014
 SCALE: AS NOTED
 DRAWN: PMA
 JOB NO: 1402

SHEET NO:
A3.2

PROPOSED EXTERIOR ELEVATIONS

Latin Name	Common Name	Scheduled Size	Remarks
L # Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	15	
L # Arctostaphylos uva-ursi	Bearberry, Kinnikinnick	1	
L # Buxus microphylla japonica 'Green Beauty'	Green Beauty Boxwood	1	
L # Ceratostigma wilmottianum	Chinese Plumbago	1	
L # Chondropetalum tectorum	Cape Rush	5	
L # Dymondia margaritae	Silver Carpet	4	
L # Epilobium canum 'Calistoga'	Calistoga calli. Fuchsia	1	
L # Festuca Califormica	Calf Fescue	1	
L # Helictotrichon sempervirens	Blue Oat Grass	1	
L # Heuchera x 'Amethyst Myst'	Amethyst Myst Coral Bells	1	
L # Iris 'grandmas purple flag'	purple bearded iris	1	
L # Lavandula x intermedia 'Grosso'	Fat Bud French Lavender	5	
L # Lavandula stoechas 'Winter Bee' P.P.A.F.	Winter Bee Spanish Lavender	2	
L # Loropetalum chinense 'Purple Majesty'	Purple Majesty fringe flower	5	
L # Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	15	
L # Linopetala 'Royal Purple'	Royal Purple Lily Turf	1	
L # Loropetalum chinense 'Purple Majesty'	Purple Majesty fringe flower	5	
L # Mahonia repens	Creeping Mahonia	5	
L # Phormium 'Dusky Chief'	New Zealand Flax- Dusky Chief	5	
L # Phormium 'Guardman'	Guardmans Flax	5	
L # Phormium 'Yellow Wave'	Yellow Wave New Zealand Flax	5	
L # Prunus laurocerasus	English Laurel	5	
L # Prunus zabeliana	Zabel Laurel	5	
L # Spiraea x bumalda 'Goldflame' (S.x 'Goldflame')	Goldflame Spirea	5	
L # Stipa pinnata	Giant Feather Grass	1	
L # Symphoricarpos albus	Snowberry	2	
L # Clematis x 'The President'	The President Clematis	2	
L # Trachelospermum jasminoides	Star Jasmine	5	



COLOR PLANTERS
CASUAL GARDEN
mixed grasses,
perennials
groundcover

CASUAL PATIO
130 sq ft

CASUAL GARDEN-typical
mixed grasses,
perennials
groundcover

HISTORIC STOVE

RELOCATED VLY.OAK

RELOCATED
HISTORIC FIREPIT

HISTORIC BRIDGE

VEGGIES/HERBS

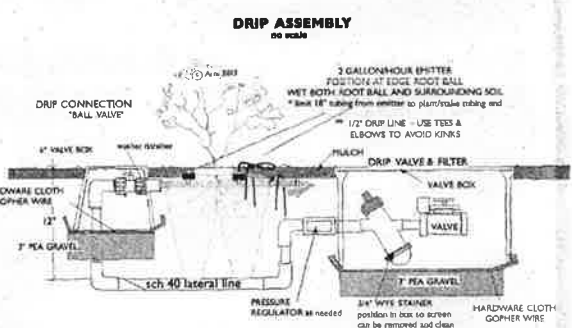
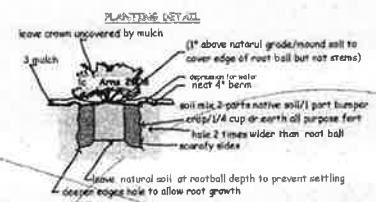
SCREEN HEDGE/FENCE

PERMEABLE PAVERS
918 sq ft

NEW FENCE AND GATE
sidewalk plantings

LANDSCAPE PLANTED AREAS
ON SITE 6320 SQ FT
SIDEWALK STRIPS 1400 SQ FT

X DENOTES TREE REMOVAL
M DENOTES TREE TO BE MOVED ON SITE
* see Pacific Tree Care report (1/6/2012)



NOTE ALL ZONES EXCEPT LAWN
TO BE DRIP IRRIGATED PER DETAIL
IRRIGATION CLOCK TO BE Hunter iCore w/ solar sync.sensor ("smart clock")

STEVEN ARNS LANDSCAPE ARCHITECT
 600 Third St. Santa Monica CA 90401
 (310) 314-1111
 E. arns@stevenarns.com
 www.stevenarns.com

LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA
 License No. 14688

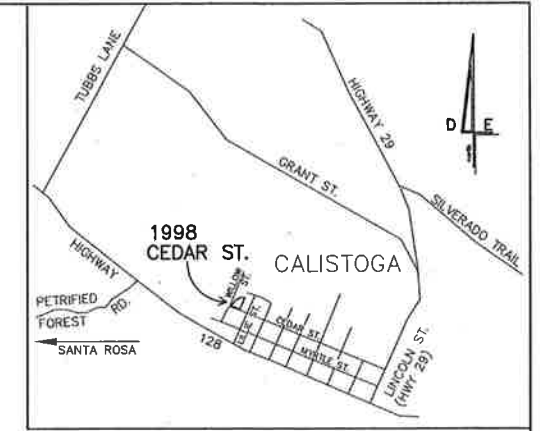
IMPER RESIDENCE
 1998 Cedar St. Calistoga
 owner Grant & Carol Imper
 1347 Duke Way San Jose CA 95125

DATE
2/26/14
submittal

SCALE
D-size sheet
1"=10'
note graphic scale is confirm

SHEET #
LO.1

SITE LANDSCAPE
schematic



LOCATION MAP

N.T.S.

IMPROVEMENT PLANS LANDS OF IMPER CALISTOGA, CALIFORNIA

TOPOGRAPHIC NOTE:

TOPOGRAPHIC INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY BY ALBION SURVEYS, INC. IN JUNE OF 2011.

REVISIONS

REVISION	DATE	BY
△		

LEGEND

A.B. = AGGREGATE BASE	G.V. = GATE VALVE	S.W.E. = SIDEWALK EASEMENT
A.C. = ASPHALT CONCRETE	I.G. = INVERT GRADE	t.w. = TOP OF WALL
A.S.B. = AGGREGATE SUBBASE	I.P. = IRON PIPE, SIZE AS NOTED	b.w. = BASE OF WALL
B.O. = BLOW-OFF	J.P. = JOINT POLE	T.C. = TOP OF CURB
B.V.C. = BEGIN VERTICAL CURVE	L.F. = LINEAL FEET	T.G. = TOP OF GRATE
C.B. = CATCH BASIN	NT = NEW TREE	TYP. = TYPICAL
C.I. = CURB INLET	P.I. = POINT OF INTERSECTION	W.M. = WATER METER
C.L. = CENTERLINE	P.L. = PROPERTY LINE	—W— = EX. WATER LINE
C.M.P. = CORRUGATED METAL PIPE	P.U.E. = PUBLIC UTILITIES EASEMENT	—S— = EX. SEWER LINE
CONC. = CONCRETE	R = RADIUS	—SD— = EX. STORM DRAIN
D.I. = DROP INLET	R.C.P. = REINFORCED CONCRETE PIPE	—G— = EX. GAS LINE
D/W = DRIVEWAY	RED. = REDUCER	—E— = EX. UNDERGROUND ELECTRIC
E.P. = EDGE OF PAVEMENT	R/W = RIGHT OF WAY	—C— = EX. UNDERGROUND CABLE T.V.
ESMT. = EASEMENT	S = SLOPE	—T— = EX. UNDERGROUND TELEPHONE
E.V.C. = END VERTICAL CURVE	S.D. = STORM DRAIN	— — — = APPROXIMATE PROPERTY LINE
EX. = EXISTING	S.S.C.O. = SANITARY SEWER CLEANOUT	—ELEV— = EX. SPOT ELEVATION
F.G. = FINISH GRADE	S.S.M.H. = SANITARY SEWER MANHOLE	—CONTOUR— = EX. GROUND CONTOUR
F.H. = FIRE HYDRANT	STD. = STANDARD	—SLIGHT— = STREET LIGHT
G.B. = GRADE BREAK	S/W = SIDEWALK	□PB = PULL BOX

California Council of Civil Engineers & Land Surveyors

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of the design professional.

PROJECT DISTURBANCE AREA

0.38 ACRES ±

PROPERTY OWNER INFORMATION

OWNER: GRANT & CAROL IMPER
ADDRESS: 1347 DUKE WAY
SAN JOSE, CA. 95125

OWNER REPRESENTATIVE: PATRICK MERVIN & ASSOCIATES
4868 PETRIFIED FOREST ROAD
CALISTOGA, CA. 94515
(707)484-0323

PURPOSE STATEMENT

THESE PLANS ARE BEING PREPARED FOR THE PURPOSE OF PROVIDING GRADING & DRAINAGE IMPROVEMENTS TO SUPPORT NEW RESIDENCE AND DRIVEWAY

GEOTECHNICAL REFERRAL

SOILS INVESTIGATION REPORT FOR 1998 CEDAR STREET., CALISTOGA BY BAUER ASSOCIATES AND DATED 08/15/11 UNDER PROJECT NO. 2810.0

CONTRACTOR TO BE FAMILIAR WITH AND FOLLOW ALL CONSTRUCTION REQUIREMENTS AS ADDRESSED IN THE SOILS REPORT.

UNDERGROUND SERVICE ALERT



APPROVED: **PRELIMINARY**
SUBJECT TO REVISION
DATE: 2/12/14

DAN WRIGHT, R.C.E. 22296 DATE

INDEX OF SHEETS

SHEET NO.	TITLE
1	TITLE SHEET
2	GRADING PLAN SHEET
3	NOTES & DETAILS SHEET
4	EROSION CONTROL SHEET

HOUSE SITE & PRIVATE DRIVEWAY IMPROVEMENT PLAN

FOR
GRANT & CAROL IMPER
AT
1998 CEDAR STREET
CALISTOGA, CALIFORNIA
APN 011-410-015



ANALYSIS • PLANNING • SURVEYING • ENGINEERING

2852 MENDOCINO AVENUE, SANTA ROSA CA. 95403 (707) 578-3433




NOV. 2013

13-7151

SHEET 1 OF 4

LANDSCAPING NOTES

AREAS DESIGNATED FOR LANDSCAPING IMPROVEMENTS ARE TAKEN FROM PLANS PREPARED BY STEVE ARNS, LANDSCAPE ARCHITECT, DATED 3/23/12.

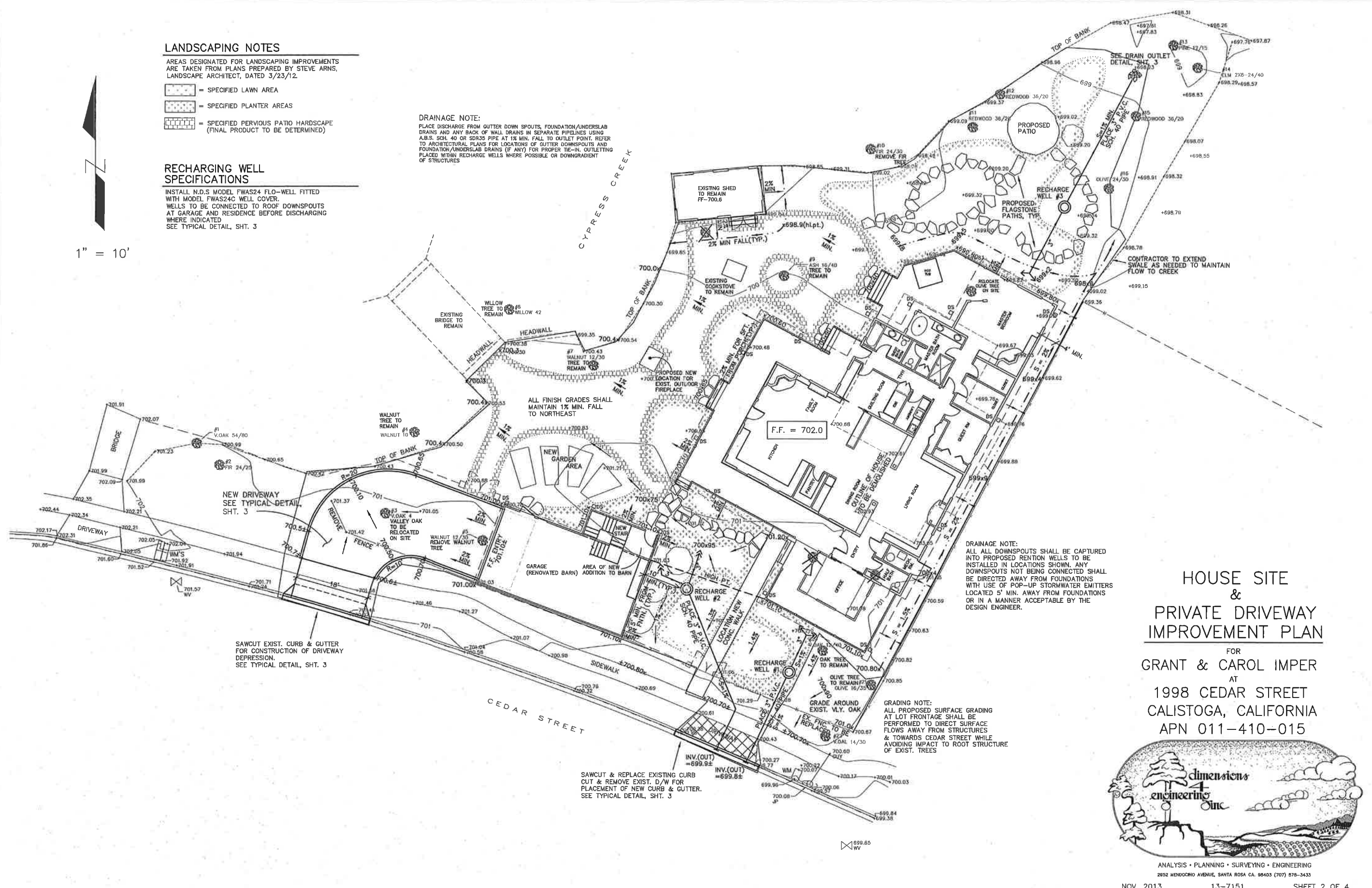
-  = SPECIFIED LAWN AREA
-  = SPECIFIED PLANTER AREAS
-  = SPECIFIED PERVIOUS PATIO HARDSCAPE (FINAL PRODUCT TO BE DETERMINED)

RECHARGING WELL SPECIFICATIONS

INSTALL N.D.S MODEL FWAS24 FLO-WELL FITTED WITH MODEL FWAS24C WELL COVER.
WELLS TO BE CONNECTED TO ROOF DOWNSPOUTS AT GARAGE AND RESIDENCE BEFORE DISCHARGING WHERE INDICATED
SEE TYPICAL DETAIL, SHT. 3

DRAINAGE NOTE:
PLACE DISCHARGE FROM GUTTER DOWN SPOUTS, FOUNDATION/UNDERSLAB DRAINS AND ANY BACK OF WALL DRAINS IN SEPARATE PIPELINES USING A.B.S. SCH. 40 OR SDR35 PIPE AT 1% MIN. FALL TO OUTLET POINT. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF GUTTER DOWNSPOUTS AND FOUNDATION/UNDERSLAB DRAINS (IF ANY) FOR PROPER TIE-IN. OUTLETTING PLACED WITHIN RECHARGE WELLS WHERE POSSIBLE OR DOWNGRADIENT OF STRUCTURES

1" = 10'



DRAINAGE NOTE:
ALL ALL DOWNSPOUTS SHALL BE CAPTURED INTO PROPOSED RETENTION WELLS TO BE INSTALLED IN LOCATIONS SHOWN. ANY DOWNSPOUTS NOT BEING CONNECTED SHALL BE DIRECTED AWAY FROM FOUNDATIONS WITH USE OF POP-UP STORMWATER EMITTERS LOCATED 5' MIN. AWAY FROM FOUNDATIONS OR IN A MANNER ACCEPTABLE BY THE DESIGN ENGINEER.

GRADING NOTE:
ALL PROPOSED SURFACE GRADING AT LOT FRONTAGE SHALL BE PERFORMED TO DIRECT SURFACE FLOWS AWAY FROM STRUCTURES & TOWARDS CEDAR STREET WHILE AVOIDING IMPACT TO ROOT STRUCTURE OF EXIST. TREES

SAWCUT EXIST. CURB & GUTTER FOR CONSTRUCTION OF DRIVEWAY DEPRESSION.
SEE TYPICAL DETAIL, SHT. 3

SAWCUT & REPLACE EXISTING CURB CUT & REMOVE EXIST. D/W FOR PLACEMENT OF NEW CURB & GUTTER.
SEE TYPICAL DETAIL, SHT. 3

HOUSE SITE & PRIVATE DRIVEWAY IMPROVEMENT PLAN
FOR
GRANT & CAROL IMPER
AT
1998 CEDAR STREET
CALISTOGA, CALIFORNIA
APN 011-410-015



GRADING AND DRAINAGE NOTES

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE COUNTY OF NAPA.
2. THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
3. ISSUANCE OF A GRADING/DRAINAGE PERMIT DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
4. EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-842-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A. THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
6. IN THE EVENT CULTURAL RESOURCES (I.E. HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-0880. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION.
7. SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
8. RETAINING WALLS, UNLESS EXEMPTED PER SOC 213(A)(3), ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
9. EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
10. CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF THE CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.
11. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 8 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPACTED TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
12. GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCRAPING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
13. FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V (SIDE).
14. FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
15. FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.

GRADING AND DRAINAGE INSPECTION NOTES

1. THE PERMITTEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY THE PERMIT AUTHORITY TO VERIFY COMPLIANCE. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUESTS.
2. PRIOR TO THE START OF ANY GRADING WORK, THE PERMITTEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH COUNTY OF NAPA TO DISCUSS THE SCOPE OF THE PROJECT, PERMIT CONDITIONS, REQUIRED INSPECTIONS, APPROPRIATE APPLICATION OF BEST MANAGEMENT PRACTICES (BMPs) AND ANY OTHER CONSTRUCTION ISSUES.
3. THE PERMITTEE SHALL PROVIDE ADEQUATE AND SAFE ACCESS TO THE SITE FOR INSPECTION DURING THE PERFORMANCE OF ALL WORK.
4. DURING CONSTRUCTION ACTIVITIES, THE PROJECT SITE ADDRESS SHALL BE POSTED AS FOLLOWS: (1) THE STREET NUMBERS MUST BE AT LEAST FOUR INCHES TALL WITH A REFLECTIVE SURFACE. (2) THE ADDRESS MUST BE VISIBLE FROM BOTH DIRECTIONS ALONG THE ROAD. (3) THE ADDRESS MUST BE POSTED AT ALL FORKS IN ANY ACCESS ROAD AND AT THE SITE.

STORM DRAIN NOTES

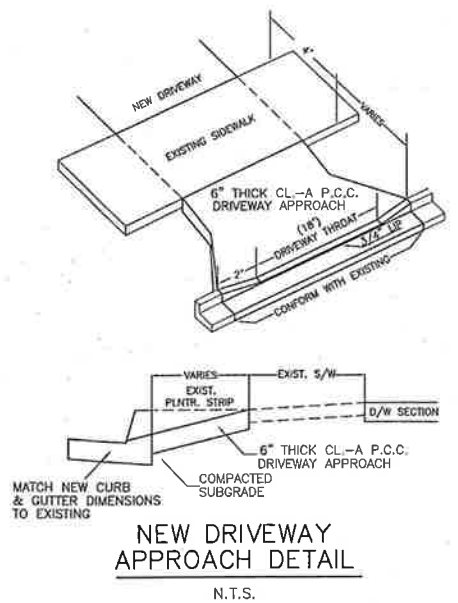
1. ALL STORM DRAINS (S.D.) SHALL BE P.V.C. SDR35, H.D.P.E. OR APPROVED EQUAL WITH 1' MIN. COVER ABOVE TOP OF PIPE.
2. PLACE DISCHARGE FROM GUTTER DOWN SPOUTS, FOUNDATION/UNDERSLAB DRAINS AND BACK OF WALL DRAINS IN SEPARATE PIPELINES USING A.B.S. SCH. 40 OR SDR35 PIPE AT 2% MIN. FALL TO OUTLET. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF GUTTER DOWNSPOUTS AND FOUNDATION/UNDERSLAB DRAINS FOR PROPER TIE-IN. OUTLETTING TO BE PLACED DOWNGRADIENT AND AWAY FROM ALL IMPROVEMENTS.
3. TRENCH AND BACKFILL CONSTRUCTION FOR STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH CALTRANS' STANDARD PLANS DRAWING AB2-7 FOR CONCRETE CULVERTS AND AB2-F FOR METAL AND PLASTIC CULVERTS, EXCEPT THAT THE TRENCH WIDTH NEED ONLY BE ONE FOOT ON EACH SIDE OF THE PIPE.
4. VERTICAL CONTROL OF PIPE LAYING MAY BE BY EITHER (A) "BATTER BOARDS", STRING LINE & GRADE ROD, OR (B) BY LASER BEAM. FOR STORM DRAIN PIPES (OTHER THAN GPP) WHICH HAVE SLOPES FLATTER THAN 0.0030 FT./FT., THE SOIL CEMENT BEDDING DESCRIBED IN SECTION 19-3.0250 CALTRANS STANDARD SPECIFICATIONS SHALL BE USED.
5. OFF-SITE DRAINAGE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO NOVEMBER 1ST.
6. FOUNDATION DRAIN MATERIALS & PLACEMENT TO BE IN ACCORDANCE WITH THE SOILS REPORT.
7. FINAL PLACEMENT LOCATIONS OF FOUNDATION DRAINS TO BE DETERMINED BY CONTRACTOR AND SOILS ENGINEER.
8. BACK-OF-RETAINING WALL SUBDRAIN MATERIALS AND PLACEMENT TO BE IN ACCORDANCE WITH SPECIFICATIONS FOR CONSTRUCTION OF THE RETAINING WALLS.

STRUCTURAL SECTION NOTES

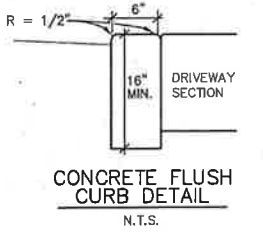
1. THE ROAD SUBGRADE WITHIN THE ROADWAY SECTION SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES AND COMPACTED TO A TIGHT NON-YIELDING SURFACE WITH NO VISIBLE DISPLACEMENT TO AT LEAST 95% OF RELATIVE COMPACTION AND SHALL BE FREE OF LOOSE OR EXTRANEIOUS MATERIAL.
2. THE CLASS II AGGREGATE BASE SHALL HAVE A RELATIVE COMPACTION OF AT LEAST 95% AND BE A TIGHT NON-YIELDING SURFACE WITH NO VISIBLE DISPLACEMENT.
3. ANY ASPHALT CONCRETE SHALL HAVE A RELATIVE COMPACTION OF AT LEAST 95%.
4. A SOILS ENGINEER SHALL TEST, AND APPROVE THE CONSTRUCTION OF ROADS, AND, IF REQUIRED, PARKING AREAS. THE SOILS ENGINEER SHALL PROVIDE COPIES OF THE TEST RESULTS AND WRITTEN APPROVALS TO THE COUNTY'S INSPECTOR WITHIN 3 WORK DAYS OF TESTING OR APPROVAL. THE APPROVAL SHALL INCLUDE THE STABILITY AND RELATIVE DENSITY OF SUBGRADES BASE COURSES PRIOR TO THE PLACEMENT OF ASPHALT CONCRETE. A FINAL SOILS REPORT SHALL BE SUBMITTED BY THE PROJECT SOILS ENGINEER TO THE CONSTRUCTION INSPECTION SUPERVISOR WHICH CONTAINS AN ANALYSIS OF THE SOILS ENCOUNTERED AND COMPILATION OF THE COMPACTION TESTS PERFORMED.

MISCELLANEOUS NOTES (IF APPLICABLE)

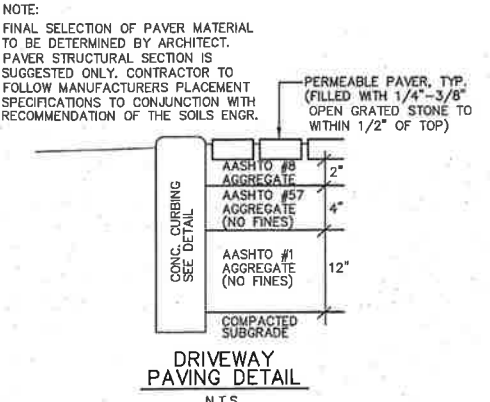
1. THE CONTRACTOR SHALL STAMP THE LETTER "S" ON THE FACE OF THE CURB DIRECTLY ABOVE SEWER LATERALS, AND "W" ON THE FACE OF CURB DIRECTLY ABOVE WATER SERVICE LATERALS, AND "B" ON THE FACE OF THE CURB DIRECTLY ABOVE BLOW-OFF OR AIR RELIEF VALVES.
2. SIDEWALK WARPS SHALL BE PROVIDED TO ALLOW A CLEAR 4-FOOT WALKWAY IN AREAS WHERE OBSTRUCTIONS (I.E. MAILBOXES, UTILITY POLES) ARE TO BE INSTALLED. PLACEMENT OF MAILBOXES MUST BE COORDINATED WITH AND APPROVED BY THE LOCAL BRANCH OF THE UNITED STATES POST OFFICE.
3. TESTING FOR RELATIVE DENSITIES SHALL BE IN ACCORDANCE WITH CALTRANS TEST METHOD NO. 216, PART II OR A.S.T.M. 1557. THE USE OF SAND CONE METHODS SUCH AS ASTM 1558 OR CALTRANS 216, PART I SHALL NOT BE ALLOWED.
4. ALL UNDERGROUND IMPROVEMENTS SHALL BE INSTALLED AND APPROVED PRIOR TO ROAD PAVING AND PLACEMENT OF CURB, GUTTER, AND SIDEWALKS.



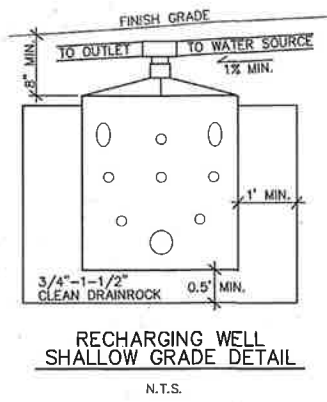
NEW DRIVEWAY APPROACH DETAIL
N.T.S.



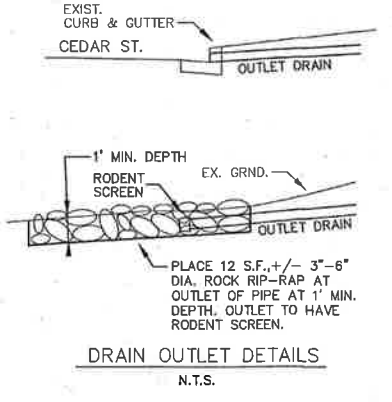
CONCRETE FLUSH CURB DETAIL
N.T.S.



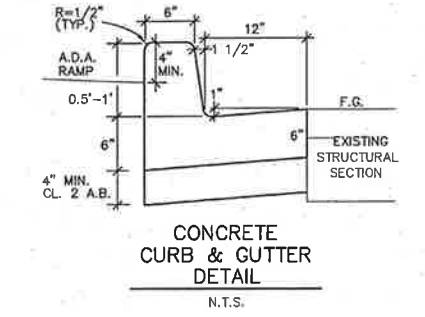
DRIVEWAY PAVING DETAIL
N.T.S.



RECHARGING WELL SHALLOW GRADE DETAIL
N.T.S.



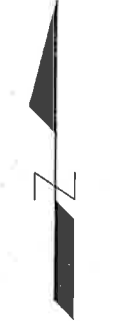
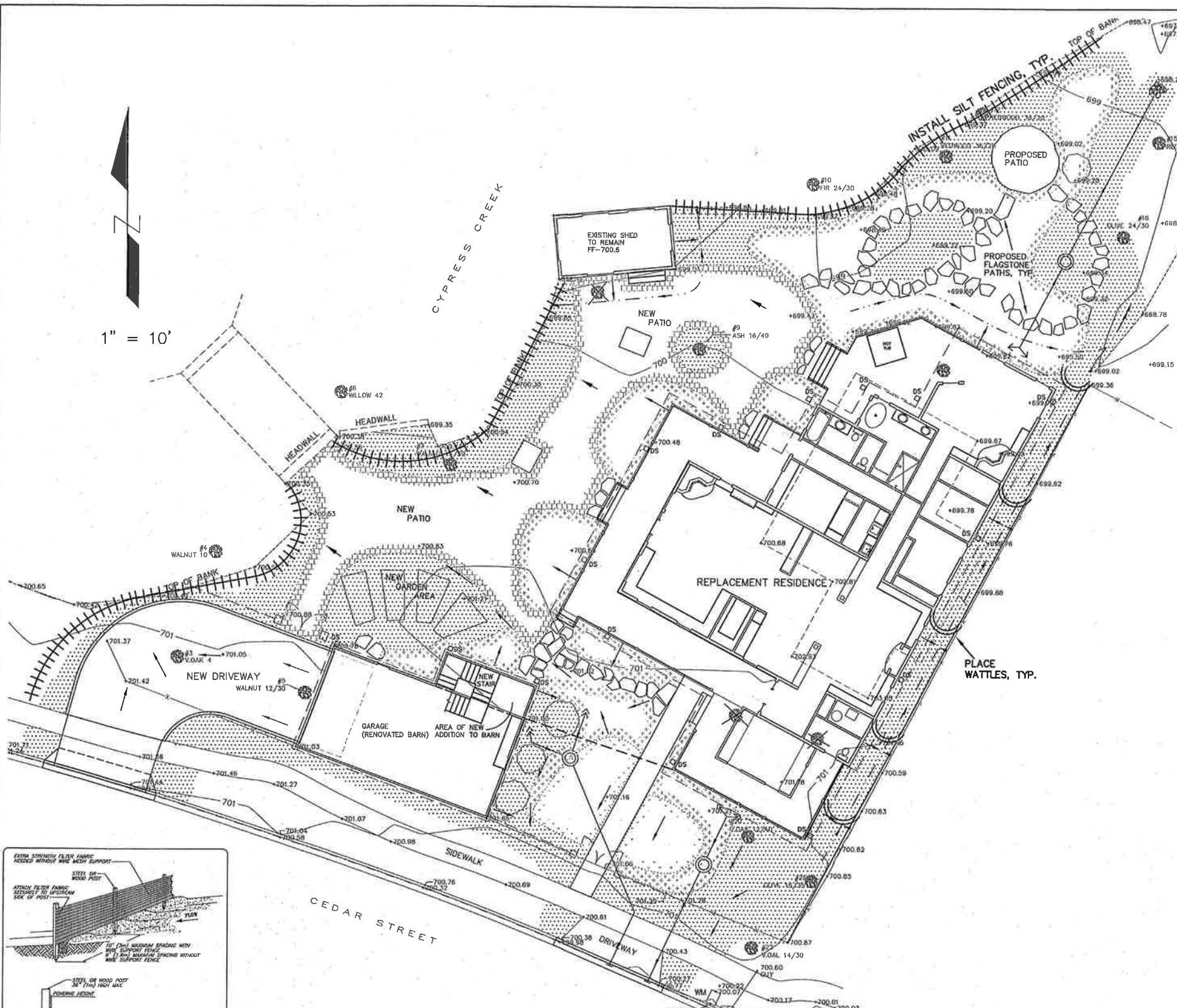
DRAIN OUTLET DETAILS
N.T.S.



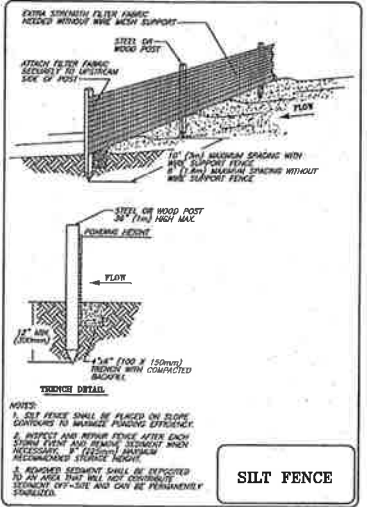
CONCRETE CURB & GUTTER DETAIL
N.T.S.

HOUSE SITE & PRIVATE DRIVEWAY IMPROVEMENT PLAN
FOR
GRANT & CAROL IMPER
AT
1998 CEDAR STREET
CALISTOGA, CALIFORNIA
APN 011-410-015





1" = 10'



NOTE:
ALL GRADED AREAS (INCLUDES CUT & FILL)
SHALL BE SEEDED AND FERTILIZED AND INCLUDE
STRAW MULCH FOR EROSION CONTROL. SEE
SEEDING AND FERTILIZING NOTES, THIS SH.

- = SEDIMENT CTRL. WATTLES
- = SEED & FERTILIZER
- = SILT FENCE

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

GENERAL

1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTER 11A AND 11 OF THE SONOMA COUNTY CODE (SCC).
2. THE APPROVED PLANS SHALL CONFORM WITH THE PERMIT AND RESOURCE MANAGEMENT DEPARTMENT'S (PRMD) EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) GUIDE AS POSTED ON THE PRMD WEBSITE.
3. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
4. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
5. AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.

RAINY SEASON OPERATIONS

1. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SCC CHAPTER 11 AND 11A. STORM WATER SHEDS REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
2. THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
3. AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO APRIL 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SCC CH. 11A AND 11.

YEAR ROUND REQUIREMENTS

1. DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMP'S REFERENCED OR DETAILED IN PRMD'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMP'S SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
3. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL BE TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
4. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
5. DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICAL, HAZARDOUS WASTES, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
6. ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
7. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
8. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYPED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.

YEAR ROUND REQUIREMENTS CONTINUED-

9. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.

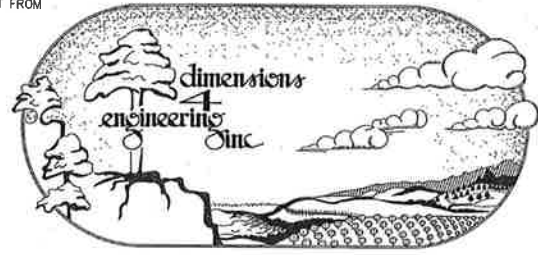
APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS	APPLIC. RATE (LBS./AC.)
SEED MIX	
Bromus mollis (BLANDO BROME)	40
Trifolium hirtum (HYKON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULFUR	500
MULCH	
STRAW	4000
HYDRAULIC STABILIZING*	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER
*NON-ASPHALTIC, DERIVED FROM PLANTS	

10. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
11. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
12. ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSIIVE STORM WATER FLOW.
13. SOIL MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
14. SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
15. A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
16. PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
17. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT DISCHARGE OF POLLUTANTS.
18. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

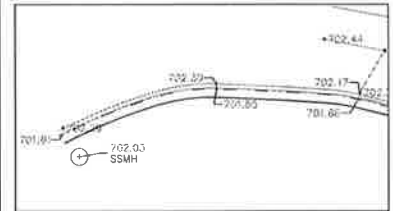
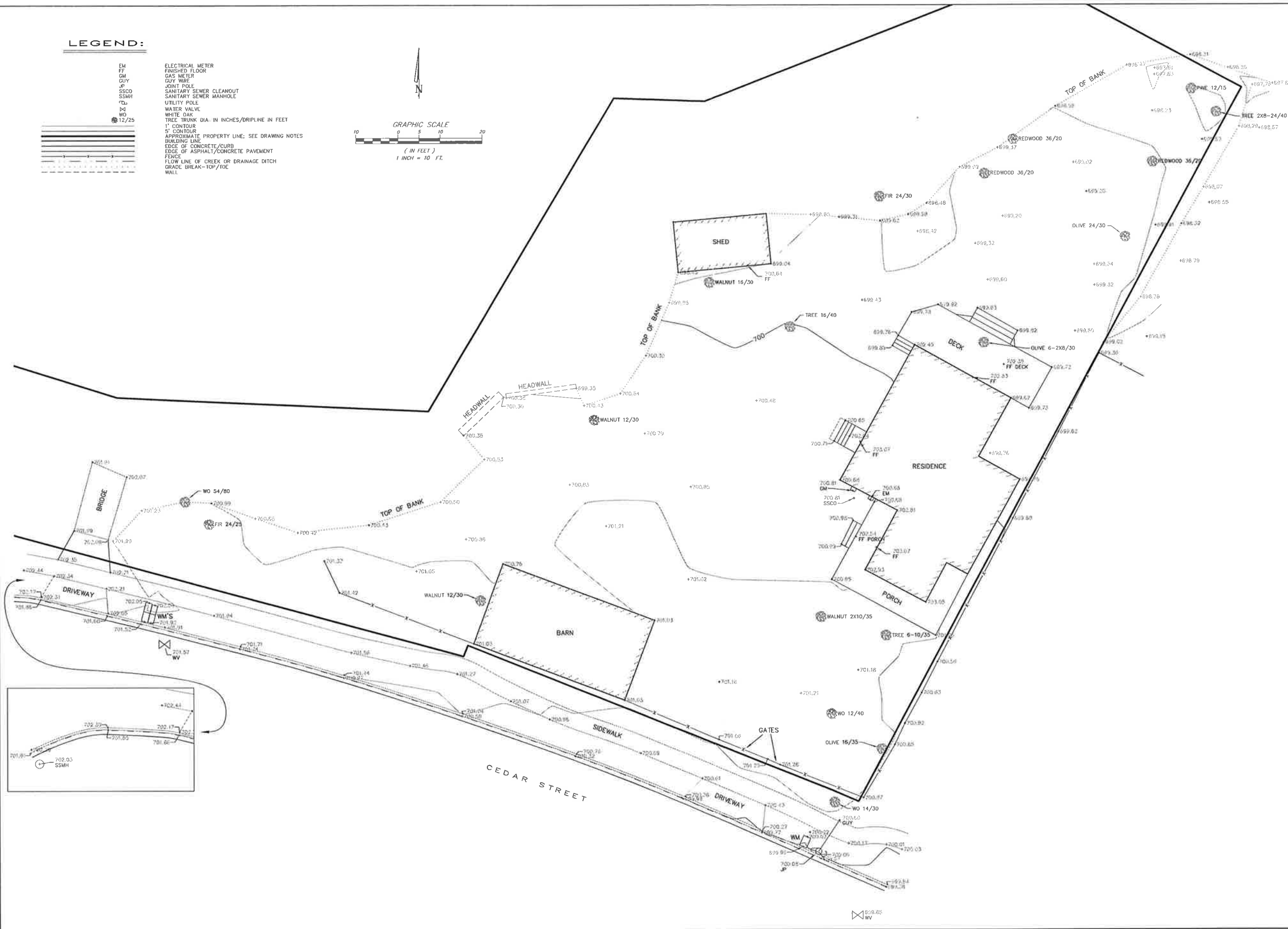
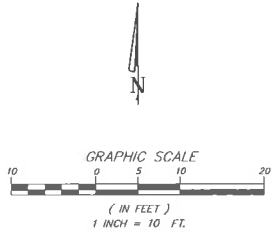
**HOUSE SITE
&
PRIVATE DRIVEWAY
IMPROVEMENT PLAN**


FOR
GRANT & CAROL IMPER
AT
**1998 CEDAR STREET
CALISTOGA, CALIFORNIA
APN 011-410-015**



LEGEND:

- EM ELECTRICAL METER
- FF FINISHED FLOOR
- GM GAS METER
- GUY GUY WIRE
- JP JOINT POLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- UP UTILITY POLE
- WV WATER VALVE
- WD WHITE OAK
- WO TREE TRUNK DIA. IN INCHES/DRIPLINE IN FEET
- 1' CONTOUR
- 5' CONTOUR
- APPROXIMATE PROPERTY LINE; SEE DRAWING NOTES
- BUILDING LINE
- EDGE OF CONCRETE/CURB
- EDGE OF ASPHALT/CONCRETE PAVEMENT
- FENCE
- FLOW LINE OF CREEK OR DRAINAGE DITCH
- GRADE BREAK-TOP/TOE
- WALL





ALBION SURVEYS, INC.
CONSULTING LAND SURVEYORS
1113 HUNT AVENUE
ST. HELENA, CA 94574
(707) 963-1217
FAX (707) 963-1829

DRAWING NOTES

THIS MAP IS NOT A BOUNDARY SURVEY. IT IS PROVIDED TO LOCATE THE PROPOSED SUBJECT PROPERTY IN RELATION TO ADJACENT LOTS, HIGHWAYS, BONDS, STREETS AND NOT TO GUARANTEE ANY FIELD SURVEY OR ADJACENT. A FIELD SURVEY SHOULD BE PERFORMED PRIOR TO ANY CRITICAL DESIGN WORK, CONSTRUCTION OR CONVEYANCE. EASEMENTS MAY AFFECT THIS PROPERTY. THIS SURVEYOR HAS NOT PROVIDED ANY INFORMATION REGARDING EASEMENTS BY THE OWNER.

SITE INFORMATION

APN: 011-410-015
STREET: 199B CEDAR STREET
CITY: CALISTOGA
SITE CONTACT:
PHONE:

ARCHITECT

COMPANY: PATRICK MERVIN + ASSOCIATES
CONTACT: ALISSA MCNAIR
PHONE: 707-942-8540
EMAIL: alissa@pmarchitect.com

ENGINEER

COMPANY:
CONTACT:
PHONE:
EMAIL:

MAP OF TOPOGRAPHY
OF A PORTION OF THE LANDS OF
IMPER
COUNTY OF MESA STATE OF CALIFORNIA

REVISIONS & ADDITIONS

DATE	BY	PG.
8-24-2011	FB: BLS	PG. 32-39
DATE:	BY:	PG.
DATE:	BY:	PG.
DATE:	BY:	PG.
DATE:	BY:	PG.
DATE:	BY:	PG.
DATE:	BY:	PG.

ALBION REFERENCES

PROJECT NO: 1205
ASSOCIATED DWG(S):
PROJECT MANAGER: J. WEBB
DATE OF SURVEY: JUNE, 2011

VERTICAL DATUM ASSUMED
DIRECTION OF NORTH BASED ON
10 PM 81, N.C.R.

TOPO-1 SHEET 1 OF 1
C:\3 PROJECT 1205
DWG 1205-TOP0