

**EXISTING CONDITIONS:** THE EXISTING BUILDING IS A 10,000 SQ FT WAREHOUSE WITH A 10' CLEAR HEIGHT AND A 10' CLEAR WIDTH. THE BUILDING IS CURRENTLY USED AS A WAREHOUSE FOR STORAGE OF VARIOUS TYPES OF EQUIPMENT AND MATERIALS. THE BUILDING IS IN GOOD CONDITION AND IS WELL MAINTAINED. THE BUILDING IS SURROUNDED BY A PAVED DRIVEWAY AND A CONCRETE DRIVEWAY. THE BUILDING IS ADJACENT TO FAIRWAY AVENUE TO THE WEST, FIRST STREET TO THE NORTH, AND SECOND STREET TO THE SOUTH. THE BUILDING IS SURROUNDED BY A PAVED DRIVEWAY AND A CONCRETE DRIVEWAY. THE BUILDING IS ADJACENT TO FAIRWAY AVENUE TO THE WEST, FIRST STREET TO THE NORTH, AND SECOND STREET TO THE SOUTH.

1. THE PROPOSED BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN JOSE PLANNING DEPARTMENT'S ZONING ORDINANCE AND THE CITY OF SAN JOSE PLANNING DEPARTMENT'S DEVELOPMENT CODE.
2. THE PROPOSED BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN JOSE PLANNING DEPARTMENT'S ZONING ORDINANCE AND THE CITY OF SAN JOSE PLANNING DEPARTMENT'S DEVELOPMENT CODE.
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**CALCULATION FOR REQUIRED OFF-STREET PARKING:**

TYPE OF USE	PER 11.5.01.01	PER 11.5.01.02	TOTAL REQUIRED
OFFICE	1	1	2
RETAIL	1	1	2
RESTAURANT	1	1	2
DRIVE-UP SERVICE	1	1	2
TOTAL REQUIRED	4	4	8
TOTAL AVAILABLE	4	4	8
DEFICIT	0	0	0

**Sutbi ASSOCIATES**  
 Planning - Design - Architecture  
 1311 Fairway Way  
 Suite 100  
 San Jose, CA 95128  
 408.434.1111

**SHAW CALISTOGA FIRST STREET**  
 1311 Fairway Way  
 Suite 100  
 San Jose, CA 95128  
 TENANT IMPROVEMENT  
 SITE PLAN

Approved by: Owner/Date  
 Prepared by: Sutbi Associates  
 Checked by: Sutbi Associates  
 Date: 08/24/2011

Issued for: **PERMITS ONLY FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION
1	08/24/2011	ISSUED FOR PERMITS ONLY FOR CONSTRUCTION

**A0.1**  
 SHAW CALISTOGA FIRST STREET  
 TENANT IMPROVEMENT  
 SITE PLAN

**RECEIVED**  
 SEP 07 2011  
 BY:

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

**ROOM NAMES**

1	REAR COURTYARD
2	REAR ENTRANCE
3	REAR OFFICE
4	REAR OFFICE
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# Sutti

ASSOCIATES

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 Calistoga, CA 94515  
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 FAX: (707) 333-3444

**SHAW**  
**CALISTOGA**  
**FIRST STREET**  
**TENANT IMPROVEMENT**  
**EGRESS PLAN**

Approved by: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 Drawing: \_\_\_\_\_

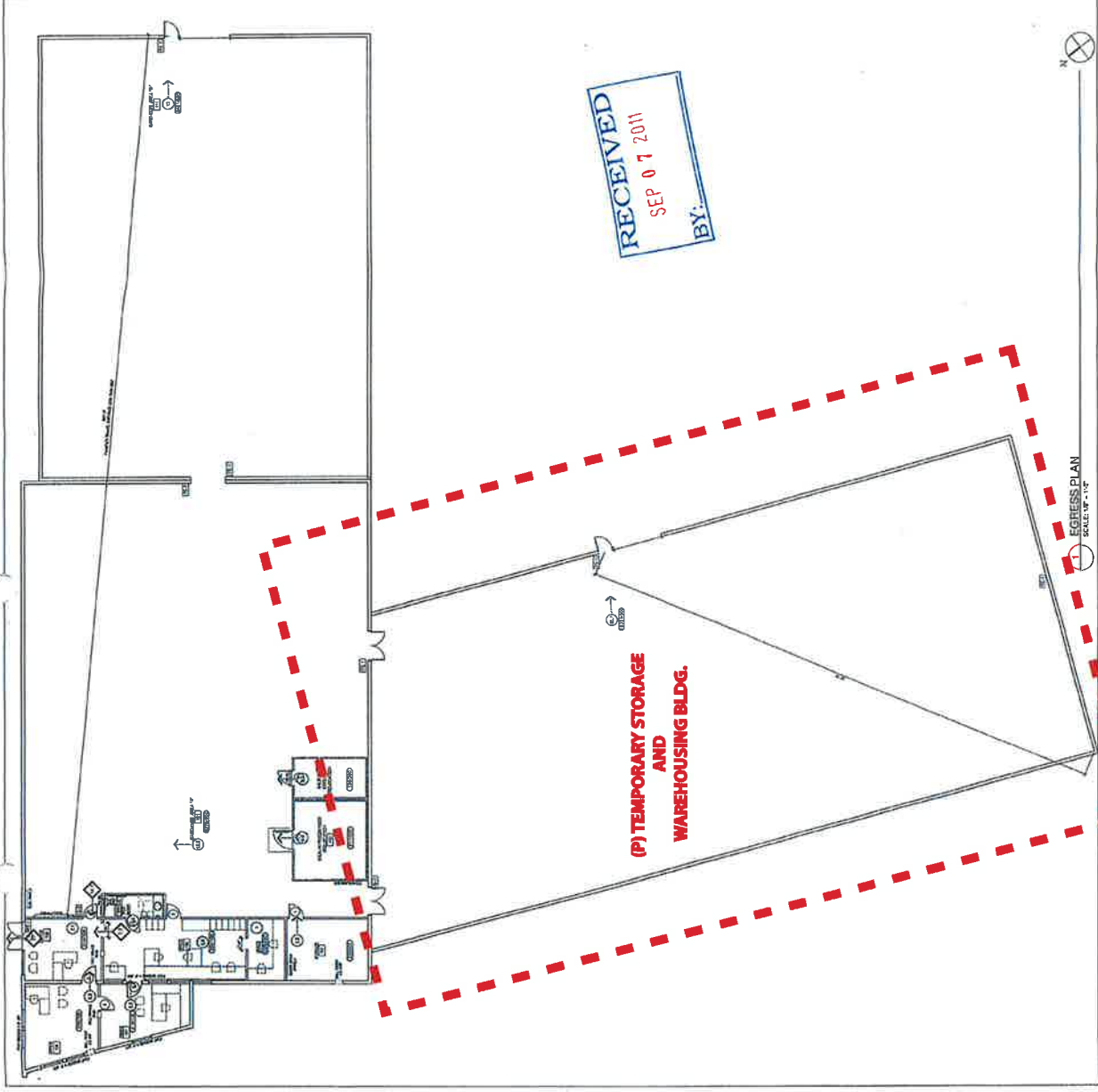
Head of Firm: \_\_\_\_\_  
 PRELIMINARY SET FOR CONSTRUCTION

Job: CMT101-1  
 Drawn by: MDMB  
 Project: \_\_\_\_\_  
 Client: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Scale: \_\_\_\_\_  
 Revision: \_\_\_\_\_

**A0.2**  
 License No. 41584  
 A California Registered Professional Engineer

**LEGEND TO EXISTING PLAN**

- (1) EXISTING WALL
- (2) EXISTING DOOR
- (3) EXISTING WINDOW
- (4) EXISTING STAIR
- (5) EXISTING ELEVATOR
- (6) EXISTING MECHANICAL ROOM
- (7) EXISTING ELECTRICAL ROOM
- (8) EXISTING TELEPHONE ROOM
- (9) EXISTING STORAGE ROOM
- (10) EXISTING OFFICE
- (11) EXISTING RESTROOM
- (12) EXISTING KITCHEN
- (13) EXISTING BREAK ROOM
- (14) EXISTING CONFERENCE ROOM
- (15) EXISTING LOBBY
- (16) EXISTING CORRIDOR
- (17) EXISTING REAR ENTRANCE
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**EGRESS PLAN**  
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