

Jag Patel
Silverado Lodging Company LLC
19 Weller Court
Pleasant Hill, CA 94523

October 10, 2008

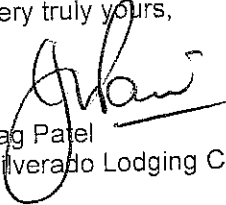
Jim McCann
City Manager
City of Calistoga
1232 Washington Street
Calistoga, CA 94515

Re: Redevelopment of Calistoga Village Inn & Spa

Dear Jim:

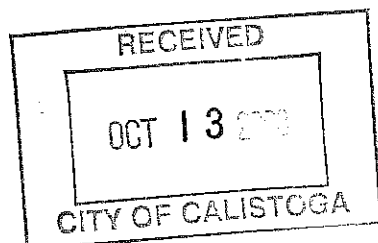
The purpose of this letter is to confirm our agreement to contribute an additional \$859,194 to address recreation and housing needs. This contribution would be in addition to the standard fees of \$120,000 for Quality of Life and \$116,106.20 for in-lieu of affordable housing. Furthermore, this contribution would be made in equal installments over a period of three years from the receipt of an occupancy permit.

Very truly yours,



Jag Patel
Silverado Lodging Co. LLC

CC: Charlene Gallina, Planning Director



DEPARTMENT OF TRANSPORTATION

111 GRAND AVENUE
P. O. BOX 23660
OAKLAND, CA 94623-0660
PHONE (510) 622-5491
FAX (510) 286-5559
TTY 711



*Flex your power!
Be energy efficient!*

October 28, 2008

NAP029810
SCH# 2008092112
NAP-029-37.90

Mr. Erik V. Lundquist
City of Calistoga
Planning and Building Department
1232 Washington Street
Calistoga, CA 94515

Dear Mr. Lundquist:

CALISTOGA VILLAGE INN AND SPA – MITIGATED NEGATIVE DECLARATION

Thank you for continuing to include the California Department of Transportation (Department) in the environmental review process for the Calistoga Village Inn and Spa redevelopment project. The following comments are based on the Mitigated Negative Declaration (MND). Our previous comments still apply and are incorporated here by reference.

Traffic Operations

The MND, page 43, paragraph 2 describes improvements to the roadway and shoulder to current Department standards. These improvements should be a condition of project approval.

Planning

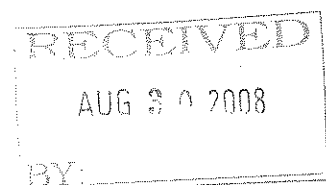
The Department applauds the efforts made for the bicycle/pedestrian-oriented access and linkages to project facilities. These efforts support the Napa County Transportation and Planning Agency's plan to create auto-free alternatives for county visitors as well as the City of Calistoga's 2007 Bicycle Transportation Plan. We would like to suggest the additional automobile trip-reducing measures:

1. Promote ride sharing and transit use for all employees of the inn and spa;
2. Provide bicycles and bicycle parking for guests in an effort to encourage them to ride bikes in Calistoga instead of driving;
3. Reserve at least one parking space for a car-share vehicle.

Landscape Architecture and Maintenance Services

1. Please provide an updated landscape plan for review as soon as it becomes available.
2. A mitigation planting plan must be submitted for the Department's review prior to the removal of any trees in the state right-of-way (ROW) for the project.

"Caltrans improves mobility across California"



3. Any landscaping by the applicant that is within the state ROW will need to be maintained by the local agency at their cost. A maintenance agreement between the Department and the local agency must be entered into to affirm this requirement.

Encroachment Permit

Please be advised that any work or traffic control that encroaches onto the state ROW requires an encroachment permit that is issued by the Department. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating state ROW must be submitted to the address below. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link below for more information. <http://www.dot.ca.gov/hq/traffops/developserv/permits/>

Michael Condie, District Office Chief
Office of Permits
California DOT, District 4
P.O. Box 23660
Oakland, CA 94623-0660

Please feel free to call or email Sandra Finegan of my staff at (510) 622-1644 or sandra_finegan@dot.ca.gov with any questions regarding this letter.

Sincerely,



LISA CARBONI
District Branch Chief
Local Development – Intergovernmental Review

c: State Clearinghouse

CALISTOGA POLICE DEPARTMENT
MEMORANDUM

DATE: September 11, 2008
TO: Erick Lindquist - Assistant Planner
FROM: Jonathan Mills – Chief of Police
RE: Village Inn Proposal

My questions and comments for the Village Inn and Spa's proposal include:

1. How does the project plan to number rooms? Will parking spaces be numbered also?
2. Does the project include an alarm (burglar, panic) for the business? – Recommended.
3. Will there be cameras recording parking lot and business areas? - Recommended.
4. Individual room phones should have ability to dial 911 directly and transmit accurate ANI/ALI (Automated Number Index/Automated Location Index) to the local PSAP.
5. Landscaping should not block views into business areas, i.e., lobby, front desk...

Thank you for the opportunity to review and comment on this project.



COUNTY OF SONOMA
DEPARTMENT OF EMERGENCY SERVICES
FIRE SERVICES o EMERGENCY MANAGEMENT o HAZARDOUS MATERIALS

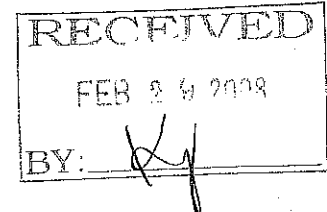
VERNON A. LOSH II, DIRECTOR

FOR THE
CALISTOGA FIRE DEPARTMENT

FROM: Jerry Faddis, Fire Protection Plans Examiner.
(707) 565-2410 or JFADDIS@SONOMA-COUNTY.ORG

DATE: Feb. 25, 2008

SUBJECT: Calistoga Use Permit # U2007-11
Address: 1880 Lincoln Ave.
Applicant: Silverado Lodging Co.
Scope: Village Inn & Spa - 3rd Request For Comments



The Department of Emergency Services (DES) Plan check fee for this permit is \$236.00 and the field inspection fee is \$.00 (to be done by CFD). These fees will be collected when the permit is issued by the City of Calistoga Building Department.

The fire flow calculations provided indicate there will be sufficient fire flow to serve this project assuming all structures are protected with approved fire sprinkler systems.

Fire sprinkler systems for the living units shall be as required by NFPA Std. 13-R

Fire sprinkler system for the guest services building shall be as required by NFPA Std. 13.

Detailed plans for the on-site fire protection water supply and fire sprinkler systems will be required.

City water supply is to be augmented by an on-site fire pump that will provide the minimum 1500 gpm to the most remote fire hydrant.

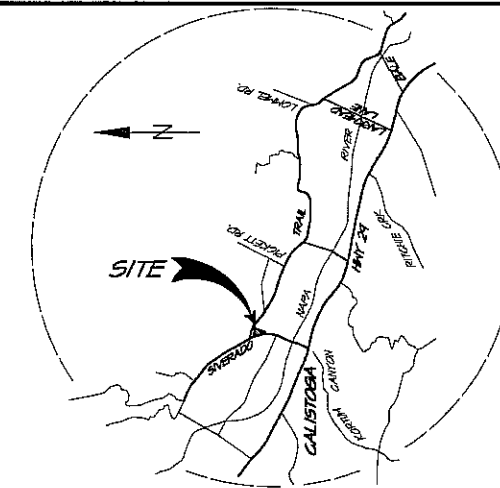
The Calistoga Fire Dept. shall determine the number and location of fire department connections to the living units. The plan shows one connection however a separate connection for each building may be preferred.

Inspections Prior to final approval, all Uniform Fire Code and City of Calistoga conditions must be verified by field inspection by a member of the Sonoma County Department of Emergency Services. A field inspection must be completed prior to occupancy. If additional inspections are necessary you will be billed at the rate of \$118.00 per hour.

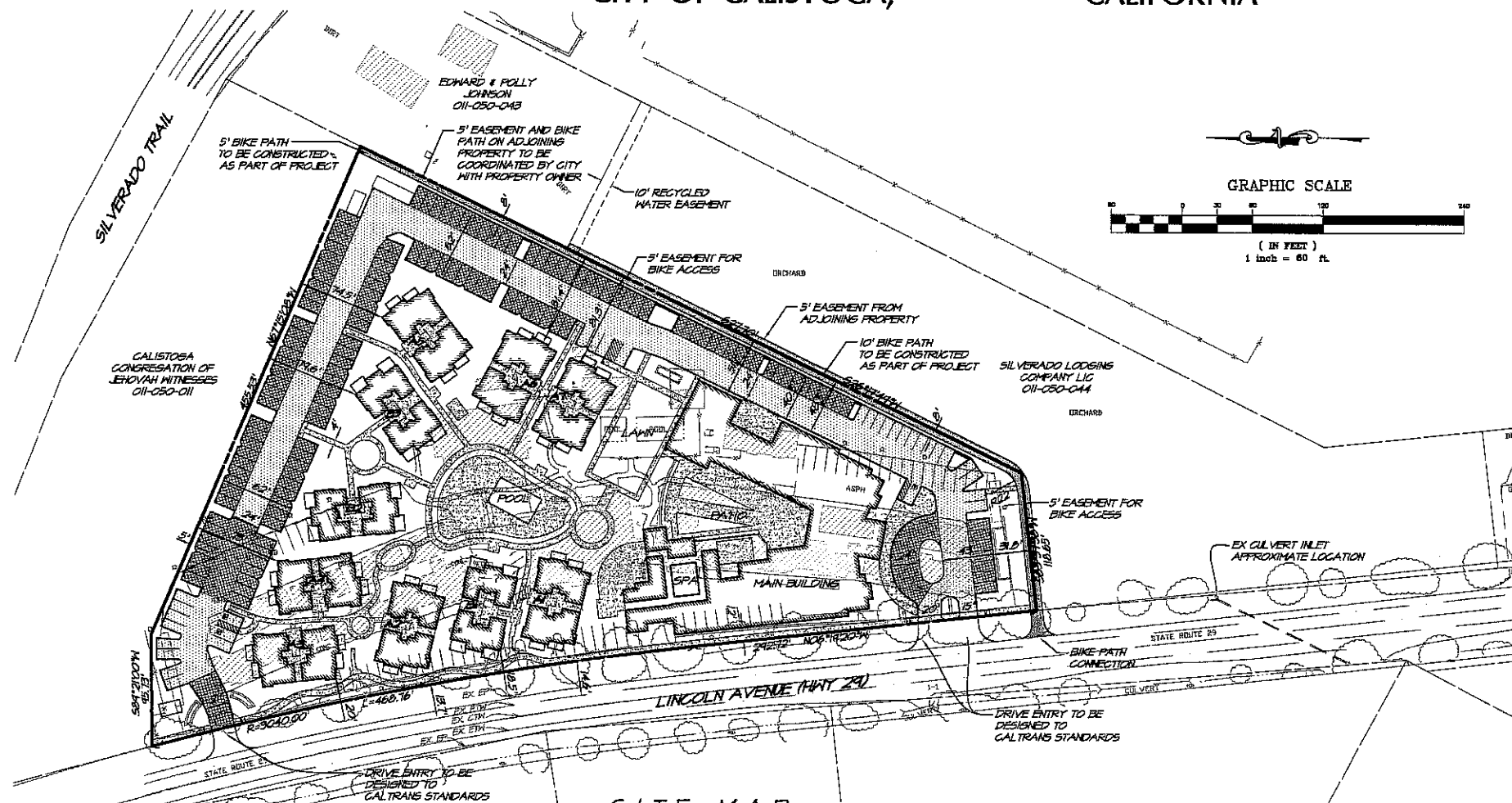
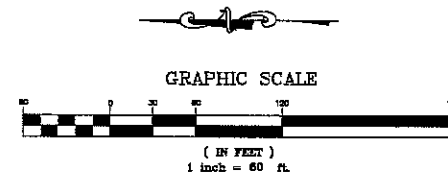
For inspection - Call Jack Rosevear @ 707-565-1154.

REDEVELOPMENT OF THE CALISTOGA VILLAGE INN & SPA USE PERMIT & DESIGN REVIEW

CITY OF CALISTOGA, CALIFORNIA



LOCATION MAP
NO SCALE



SITE MAP

PROJECT INFORMATION:

DEVELOPER/OWNER: JAS PATEL AND GHAN PATEL
ADDRESS: CALISTOGA VILLAGE INN
 1800 LINCOLN AVENUE
 CALISTOGA, CA 94515

CIVIL ENGINEER: RIECHERS SPENCE & ASSOCIATES
 1541 THIRD ST
 NAPA, CA 94559
 (707) 252-3301

SITE ADDRESS: 1800 LINCOLN AVENUE
A.P. NUMBER: 011-050-041
TOTAL PARCEL AREA: 3.17 (PER ASSESSOR MAP)

EXISTING ZONING/GENERAL PLAN: CC-DD (COMMUNITY COMMERCIAL DESIGN DISTRICT)

PROPOSED ZONING/GENERAL PLAN: CC-DD (NO CHANGE)

WATER: CITY OF CALISTOGA
SEWER: CITY OF CALISTOGA
RECYCLED WATER: CITY OF CALISTOGA
POWER: PSE&E

BASIS OF BEARINGS:
 FOUND IRON PIPE AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 21 OF RECORD OF SURVEY PAGE 60, NAPA COUNTY

BASIS OF ELEVATIONS:
 NAPA CO. B.M. 409U BRASS DISK AT EAST END OF NORTH HEAD WALL OF CONCRETE CULVERT AT THE INTERSECTION OF GRANT AND LAKE. 2-355.24

SHEET INDEX

U#	DESCRIPTION
U#1	LAYOUT
U#2	GRADING PLAN
U#3	UTILITY PLAN
A-1	FLOOR PLAN BUILDING - TYPE A
A-2	EXTERIOR ELEVATIONS - B PLEX
A-2a	EXTERIOR ELEVATIONS - BUILDING TYPE A
A-3	FLOOR PLAN - BUILDING TYPE B
A-4	EXTERIOR ELEVATIONS - 4 FLEX
A-5	GUEST STREET MASSING DIAGRAM
A-6	GUEST SERVICES BUILDING - FIRST FLOOR
A-7	GUEST SERVICES BUILDING SECOND & ROOF FLOOR
A-8	GUEST SERVICES BUILDING ELEVATIONS
A-9	GUEST SERVICES BUILDING - ELEVATIONS & SECTIONS
A-10	LINCOLN AVENUE ELEVATION
L1.0	LANDSCAPE PLAN
L2.0	PLANTING PLAN
L2.1	HIGHWAY EDGE PLAN
L3.0	ROAD SIGN ELEVATIONS
L4.0	FENCE DETAILS
E1.0	LIGHTING PLAN
E2.0	ISOGANDE STUDY

PARKING CALCULATION

CALISTOGA MUNICIPAL CODE	1736
STANDARD PARKING SPACE SIZE	4'X14'
6 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)	

GUEST SERVICES BUILDING	23 SPACES
RESTAURANT	17 SPACES
SPA	43 SPACES
CONFERENCE ROOMS	1 SPACE
MANAGER'S UNIT	1 SPACE
GUEST SERVICES BUILDINGS TOTAL	84 SPACES
GUEST UNITS 11 X 60 UNITS	75 SPACES
TOTAL PARKING SPACES REQUIRED	159 SPACES
TOTAL PARKING SPACES PROVIDED	167 SPACES

TABULATIONS

GUEST SERVICES BUILDING	23,244 SF
GUEST ROOM UNITS	
BUILDING 'A' GUEST UNITS:	
7 BUILDINGS @ 5,907 SF	41,409 SF
BUILDING 'B' GUEST UNITS:	
3 BUILDINGS @ 5,910 SF	17,730 SF
TOTAL BUILDING FLOOR AREA	62,483 SF
FAR	976
TOTAL BUILDING COVERAGE (24.2%)	32,144 SF
PARKING & DRIVE (DECORATIVE PAVING 21,443 SF)	39,340 SF
POOL/PATIO/PATH	30,582 SF
LANDSCAPE OPEN SPACE	12,101 SF
TOTAL SITE AREA	25,083 SF

SYMBOL LEGEND

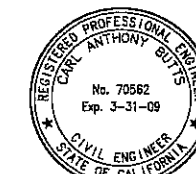
EXISTING	PROPOSED
STORM DRAIN LINE	STORM DRAIN LINE
WATER LINE	PROPERTY LINE
TREE TO REMAIN	DIRECTION OF EX. DRAINAGE
FENCE	100-YEAR OVERLAND RELEASE PATH
CONTOUR LINE	GEOTHERMAL WELL
SPOT ELEVATION	

ABBREVIATIONS

AB	AGGREGATE BASE	N	NORTH
AC	ASPHALT CONCRETE	NE	NORTHEAST
AVE	AVE	NO	NUMBER
BLDG	BUILDING	NSD	NAPA SANITATION DISTRICT
BO	BLOW OFF	NN	NORTHWEST
BW	BOTTOM OF WALL ELEVATION	OHE	OVERHEAD ELECTRIC
CB	CATCH BASIN	PI	POINT OF INTERSECTION
C	CENTERLINE	PL	PROPERTY LINE
CO	CLEANOUT	PSE	PRIVATE STORM DRAIN EASEMENT
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CTH	CENTER OF TRAVELWAY	PVI	POINT OF VERTICAL INTERSECTION
DI	DROP INLET	R	RADIUS
DHY	DRIVENWAY	RET	RETAINING WALL
E	EAST	RCE	REGISTERED CIVIL ENGINEER
EP	EDGE OF PAVEMENT	S	SLOPE / SOUTH
ESMT	EASEMENT	SD	STORM DRAIN
ETH	EDGE OF TRAVELWAY	SDE	STORM DRAIN EASEMENT
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EXP	EXPIRES	SL	STREET LIGHT
FC	FACE OF CURB	SS	SANITARY SEWER
FG	FINISH GRADE	SF	SQUARE FEET
PH	FIRE HYDRANT	SSE	SANITARY SEWER EASEMENT
FW	FIRE WATER	SSMH	SANITARY SEWER MANHOLE
SB	GRADE BREAK	ST	STREET
GNV	GROUND NOT VISIBLE	STD	STANDARD
HP	HIGH POINT	SW	SOUTHWEST
INV	INVERT ELEVATION	TAN	TANGENT
JP	JOINT POLE	TG	TOP OF CURB ELEVATION
LF	LINEAL FOOT/FEET	TH	TOP OF WALL ELEVATION
LP	LOW POINT	TYP	TYPICAL
MAX	MAXIMUM	VC	VERTICAL CURVE
MIN	MINIMUM	W	WATER / WEST
MW	MINERAL WATER	WE	WATER UTILITY EASEMENT
		WM	WATER METER

HATCH LEGEND

	AC PAVING
	BUILDING
	WALK
	PERVIOUS PAVING OR EQUIPMENT (LOCATE IN PARKING OR PATIO)
	BIKEWAY

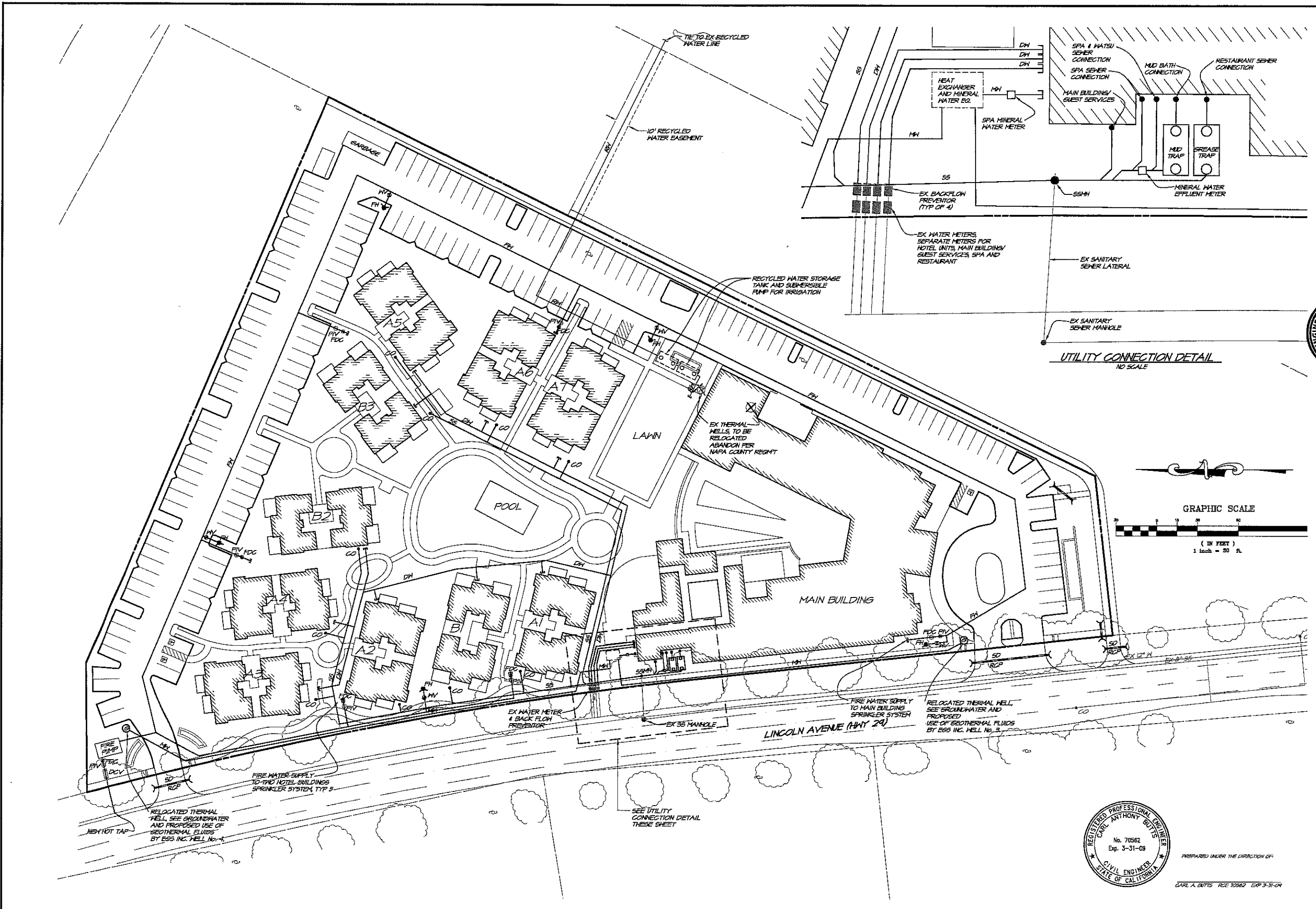


PREPARED UNDER THE DIRECTION OF:
CARL A. BUTTS REG 10862 EXP 3-31-09

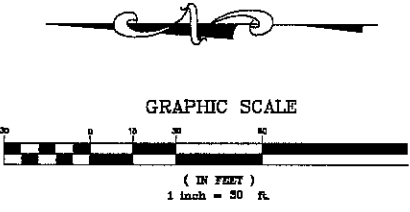


CALISTOGA VILLAGE INN & SPA LAYOUT LAYOUT CALISTOGA CALIFORNIA

DATE	OCT 1, 2001
DRAWN	ECB
DESIGNED	JRS
CHECKED	JAS
JOB NO.	41040612
SHEET NO.	U#1
OF 3 SHEETS	



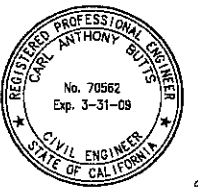
UTILITY CONNECTION DETAIL
NO SCALE



NO.	DATE	REVISIONS	BY
1			
2			
3			
4			

RIECHERS SPENCE ASSOCIATES
CONSULTING ENGINEERS
1541 Third Street
San Francisco, California 94103
Tel: 415.774.1948

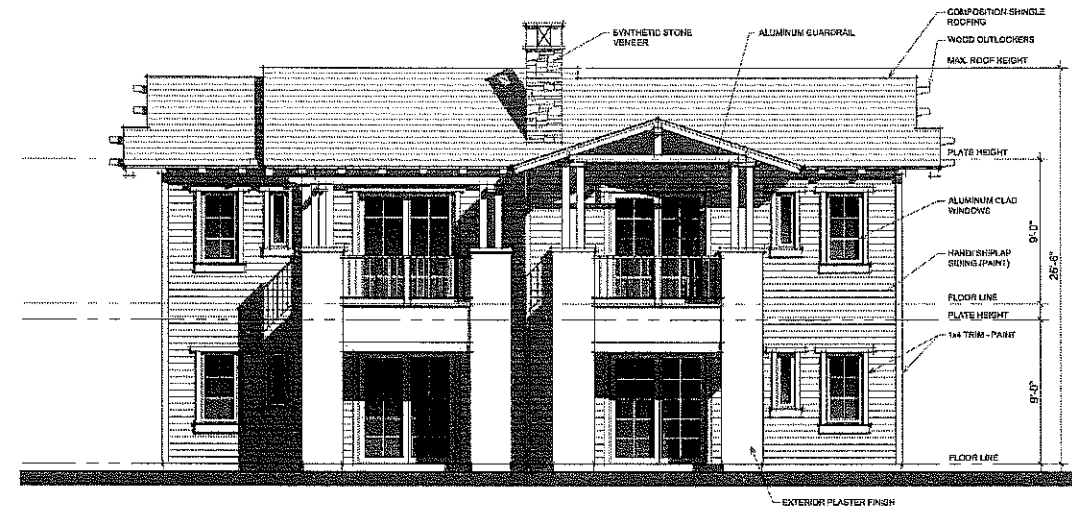
CALISTOGA VILLAGE INN & SPA
UTILITY PLAN
CITY OF CALISTOGA CALIFORNIA



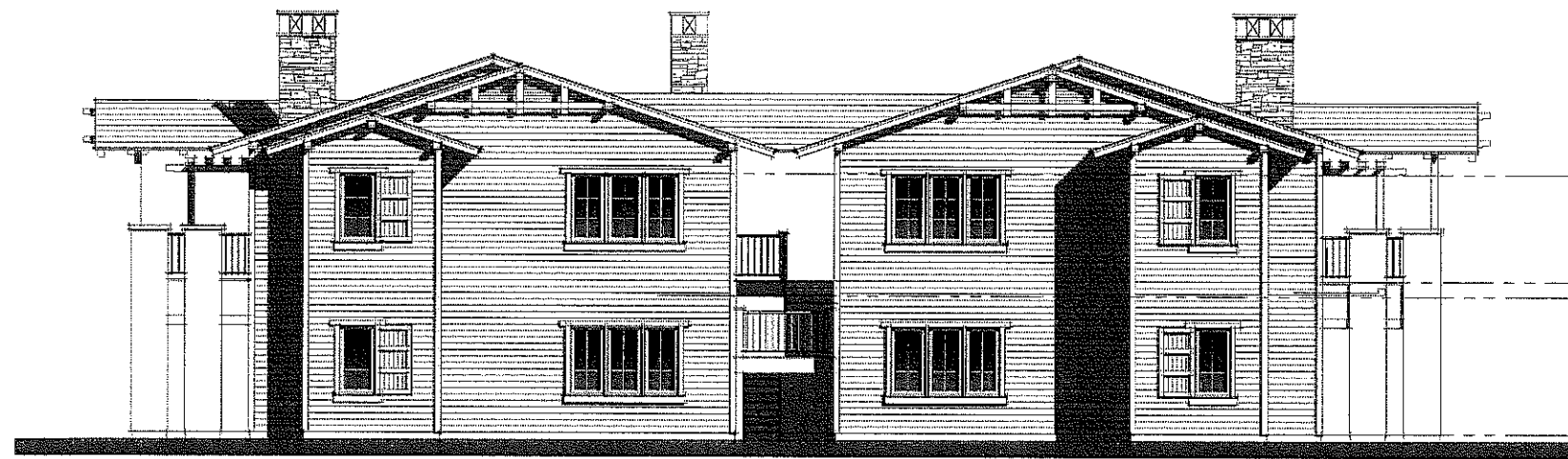
PREPARED UNDER THE DIRECTION OF
CARL A. BUTTS PCE 10262 EXP 3-31-09

DATE	OCT 1, 2007
DRAWN	EBB
DESIGNED	JRS
CHECKED	JAS
JOB NO.	41040612
SHEET NO.	UP3
	OF 3 SHEETS

R:\2004\1040612_Calistoga_Village_Inn_Spa\DWG\UP3.dwg 10/1/07 4:44:52PM e:\user\carlbutts\DWG\UP3.dwg
 10/1/07 4:44:52PM



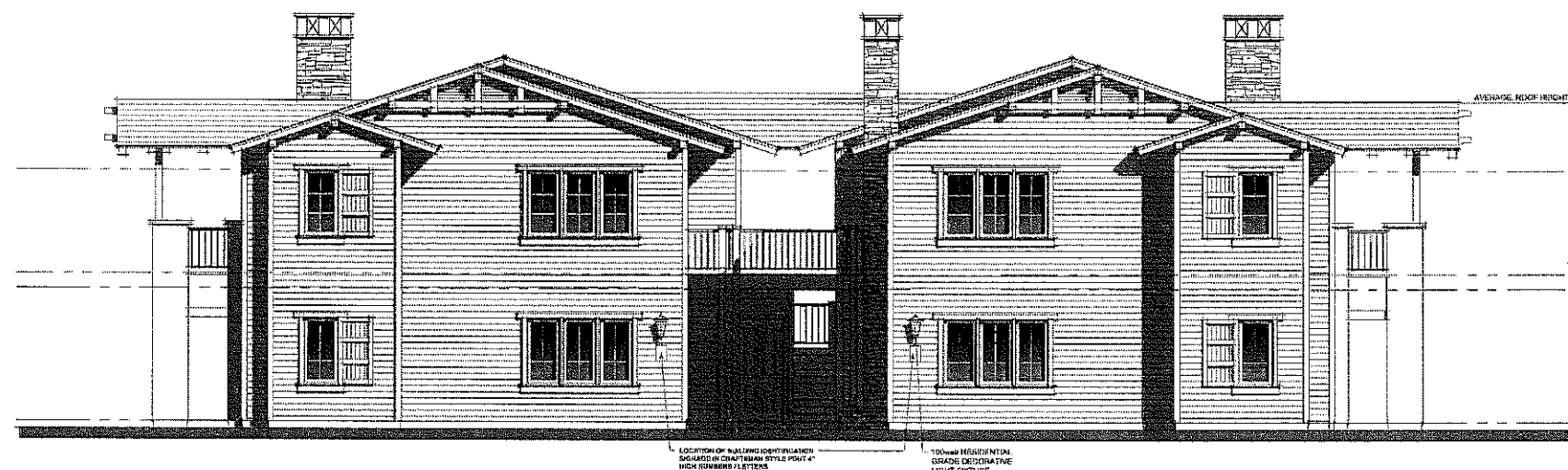
FRONT AND REAR EXTERIOR ELEVATIONS



SIDE EXTERIOR ELEVATION - 8 PLEX

Building 'A' Finish Floor Elevations:

<i>Building A2</i>	371.0
<i>Building A3</i>	372.5
<i>Building A5</i>	371.0
<i>Building A7</i>	371.5



ENTRY EXTERIOR ELEVATION - 8 PLEX

Redevelopment of the
Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

Issue Date: 09/28/07

Scale: 3/16" = 1'-0"

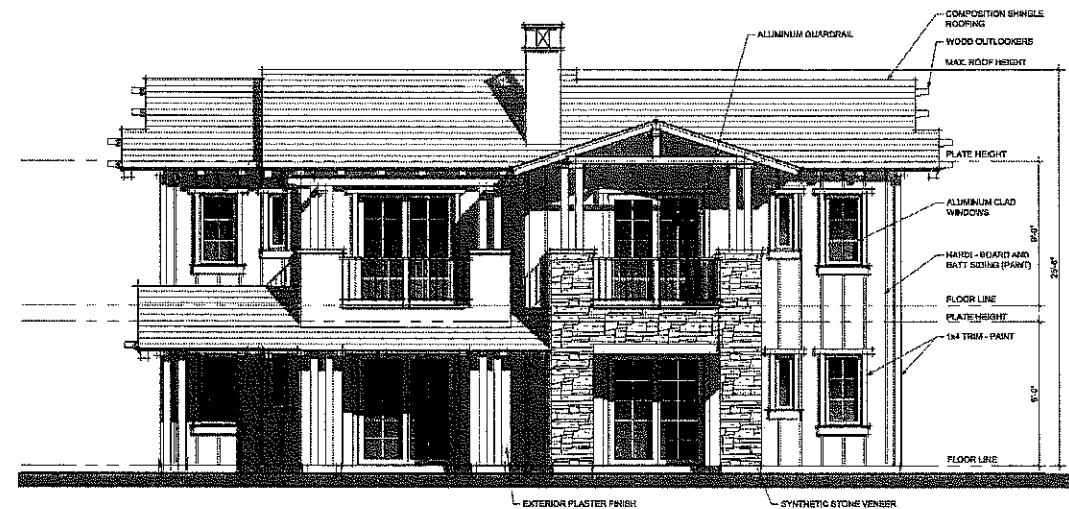
Title:
 EXTERIOR
 ELEVATIONS
 8 PLEX

Sheet No.

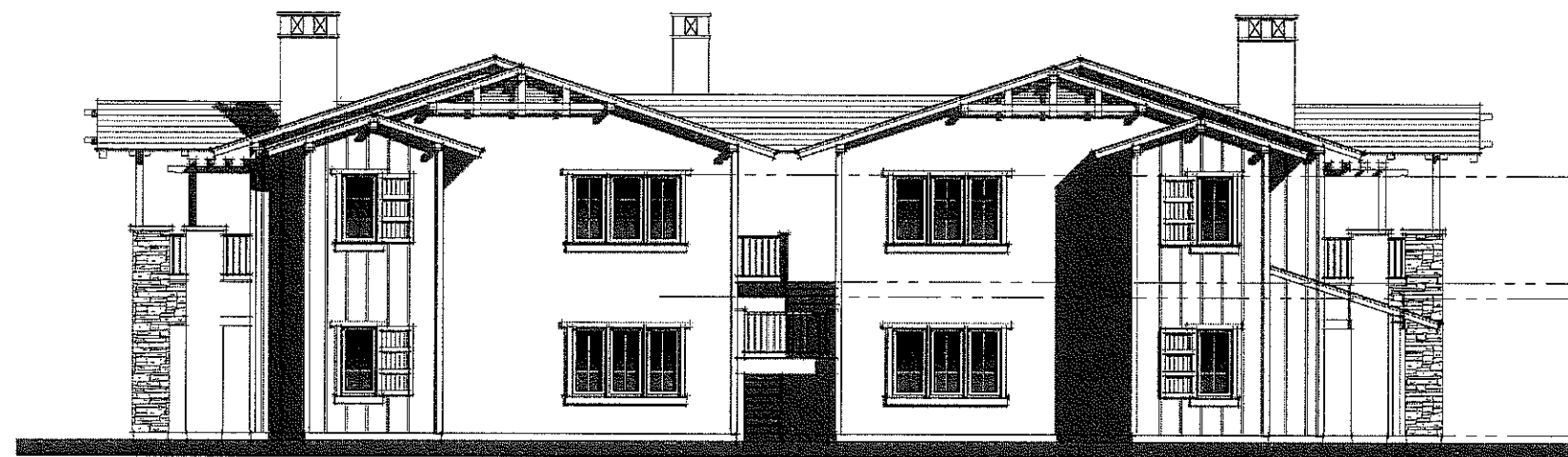
A-2



Melzer Dockert & Paster Architects, Inc.
 8511 Invia Cedar Drive
 Irvine, CA 92618
 949 / 474-8186 Voice
 949 / 474-8189 Fax



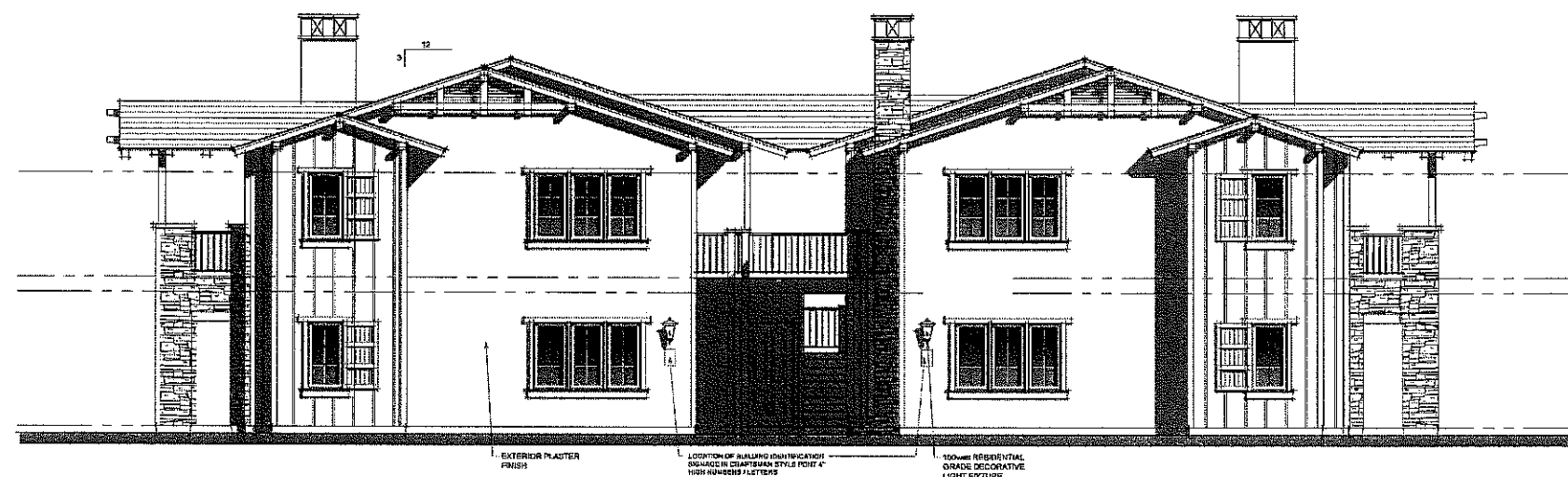
FRONT AND REAR EXTERIOR ELEVATIONS



SIDE EXTERIOR ELEVATION

Building 'A' Finish Floor Elevations:

<i>Building A1</i>	370.0
<i>Building A4</i>	372.5
<i>Building A6</i>	370.5



ENTRY SIDE EXTERIOR ELEVATION

Redevelopment of the
Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

BUILDING TYPE 'A'
 ALTERNATE ELEVATION

Issue Date: 09/28/07

Scale: 3/16" = 1'-0"

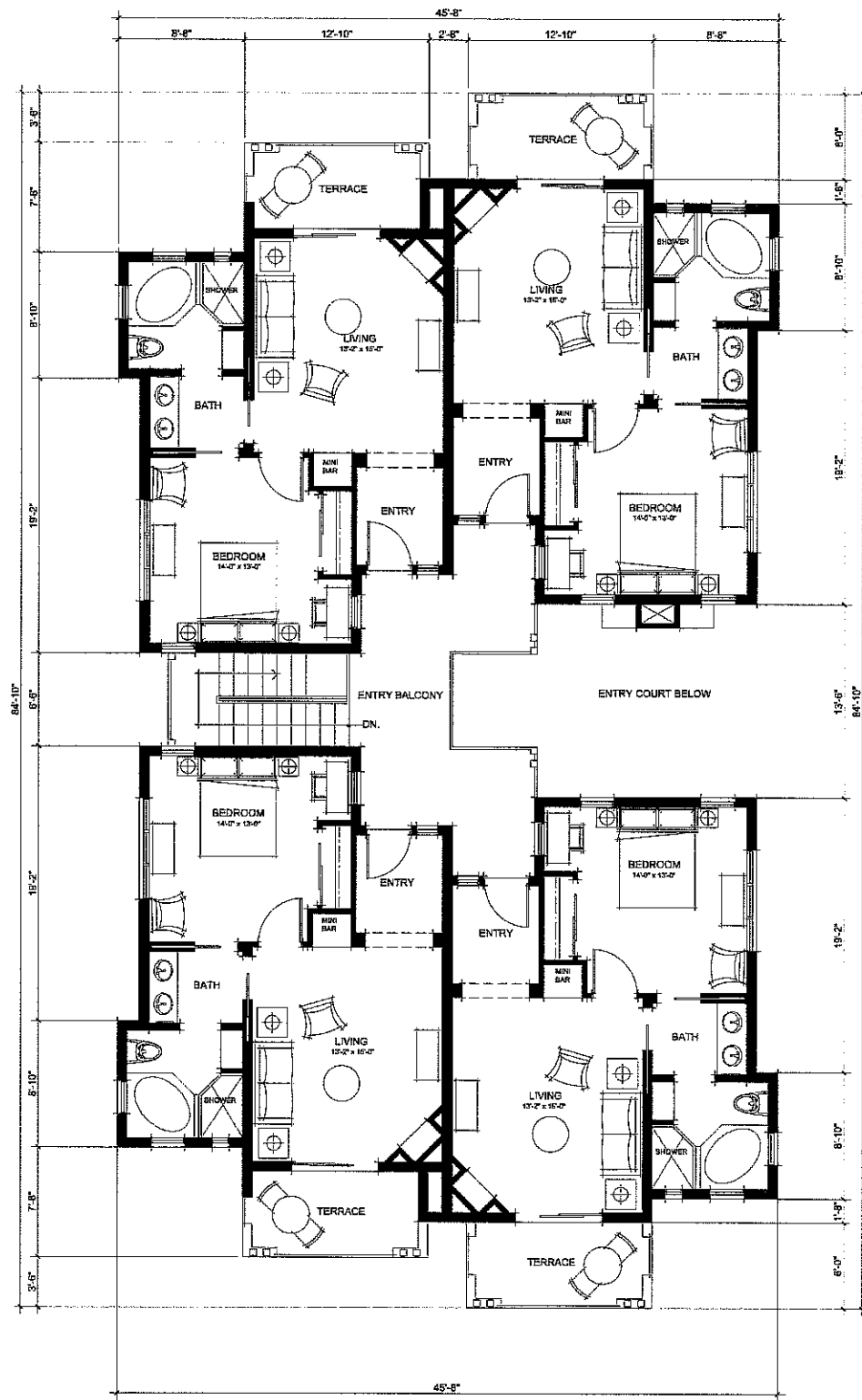
Title:
 EXTERIOR
 ELEVATIONS
 BUILDING
 TYPE A

Sheet No.

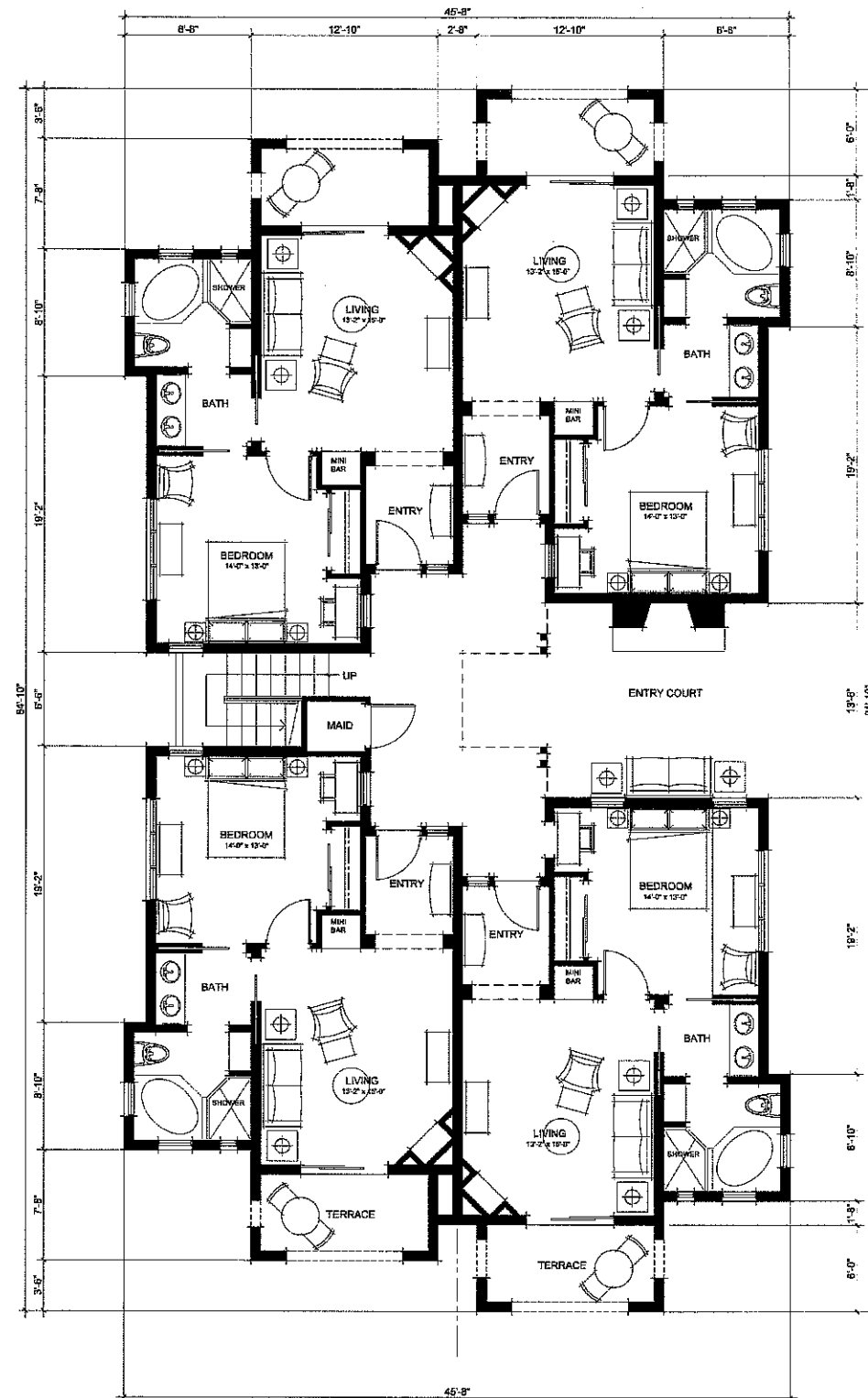
A-2a



Melzer Decker & Ruder Architects, Inc.
 2511 Irvine Center Drive
 Irvine, CA 92618
 949 / 474-8188 Voice
 949 / 474-8158 Fax



UPPER FLOOR - BUILDING TYPE 'A'



GROUND FLOOR - BUILDING TYPE 'A'

BUILDING TYPE 'A' TABULATIONS

TYPICAL UNIT:	
LIVING	603 SQ. FT.
TERRACE	77 SQ. FT.
TOTAL EACH UNIT =	680 SQ. FT.
TOTAL UNIT AREA (8 UNITS)	
8X680 =	5,440 SQ. FT.
GROUND FLOOR & COVERED WALK =	314 SQ. FT.
UPPER FLOOR ENTRY BALCONY =	233 SQ. FT.
TOTAL BUILDING AREA =	5,987 SQ. FT.

Redevelopment of the
Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

Issue Date: 09/28/07

Scale: 3/16" = 1'-0"

Title:

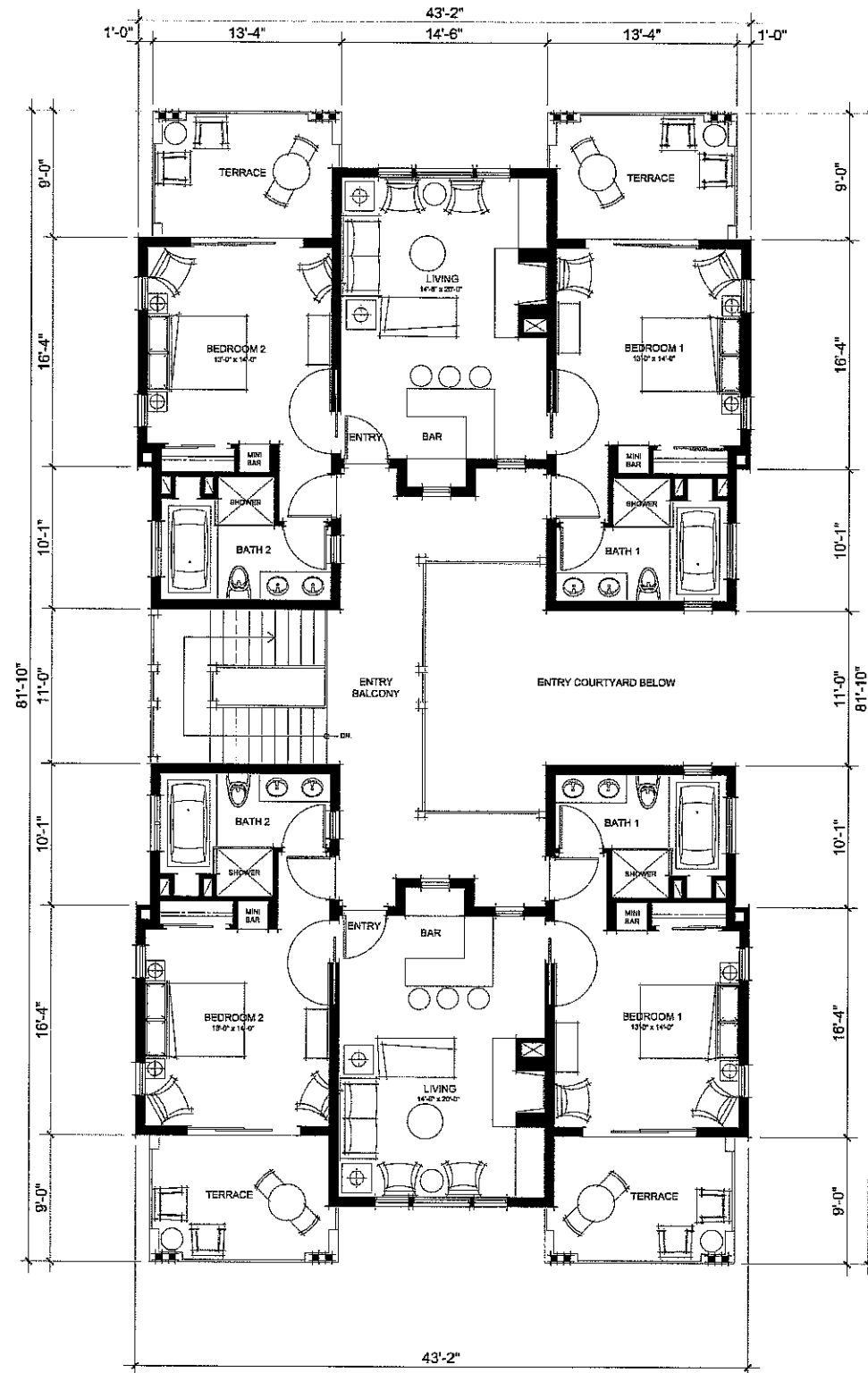
FLOOR PLAN
 BUILDING
 TYPE A

Sheet No.

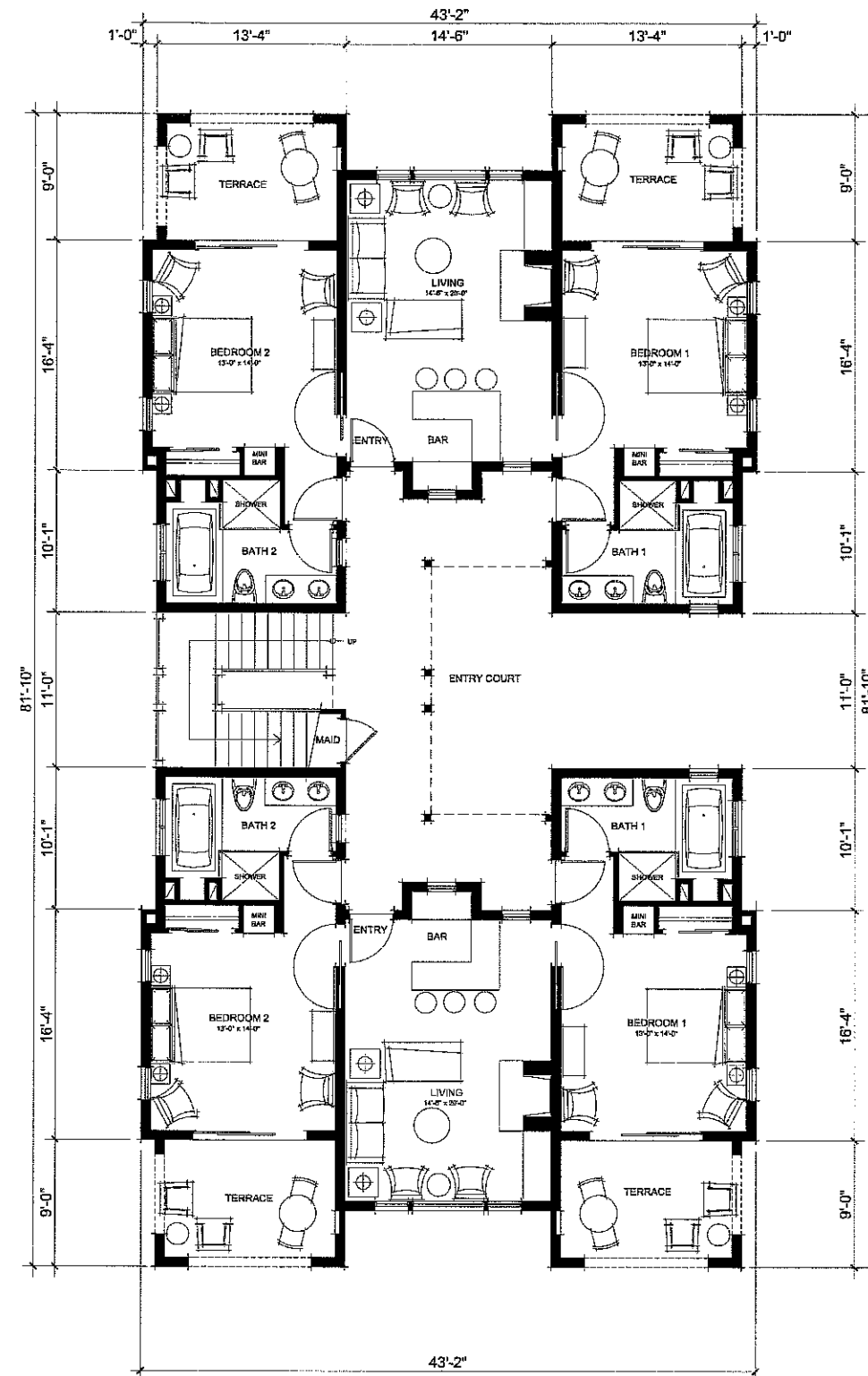
A-1



Melzer Decker & Ruder Architects, Inc.
 8211 Irvine Center Drive
 Irvine, CA 92618
 949 474-8188 Voice
 949 474-8189 Fax



UPPER FLOOR - BUILDING TYPE 'B'



GROUND FLOOR - BUILDING TYPE 'B'

BUILDING TYPE 'B' TABULATIONS

TYPICAL UNIT:	
LIVING	1084 SQ. FT.
TERRACE	234 SQ. FT.
TOTAL EACH UNIT =	1298 SQ. FT.
TOTAL UNIT AREA (4 UNITS)	
4 X 1298 =	5,192 SQ. FT.
GROUND FLOOR & COVERED WALK =	427 SQ. FT.
UPPER FLOOR ENTRY BALCONY =	291 SQ. FT.
TOTAL BUILDING AREA =	5,910 SQ. FT.

Redevelopment of the
Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

Issue Date: 09/28/07

Scale: 3/16" = 1'-0"

Title:

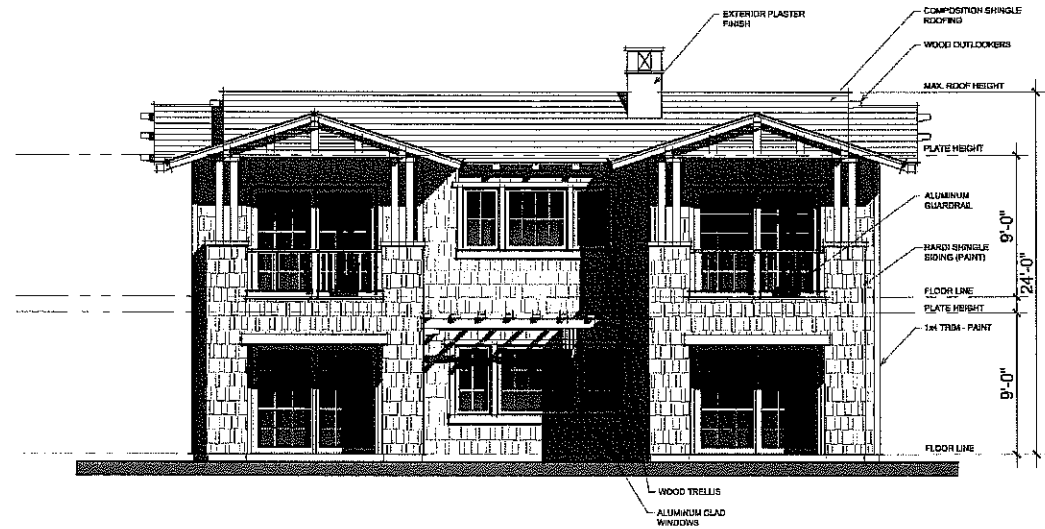
FLOOR PLAN
 BUILDING
 TYPE B

Sheet No.

A-3



Meyer Decker & Ruler Architects, Inc.
 8511 Inness Center Drive
 Irvine, CA 92618
 949 / 474-9158 Voice
 949 / 474-9159 Fax



FRONT and REAR EXTERIOR ELEVATIONS



SIDE EXTERIOR ELEVATION

Building 'B' Finish Floor Elevations:

Building B1	370.5
Building B2	372.5
Building B3	371.5



ENTRY SIDE EXTERIOR ELEVATION

Redevelopment of the
Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

Issue Date: 09/28/07

Scale: 3/16" = 1'-0"

Title:

EXTERIOR ELEVATIONS
 4 PLEX

Sheet No.

A-4



Melzer Decker & Pender Architects, Inc.
 8511 Irvine Center Drive
 Irvine, CA 92618
 949 / 474-8188 Voice
 949 / 474-8189 Fax



Guest Unit Street Massing Diagram

Redevelopment of the
Calistoga Village Inn and Spa
 Prepared for: Silverado Lodging Company

Issue Date: 09/28/07

Scale: NONE

Title:

GUEST UNIT
 STREET
 MASSING
 DIAGRAM

Sheet No.

A-5



Melzer Decker & Ruder Architects, Inc.
 6511 Info Center Drive
 Irvine, CA 92618
 949 / 474-6188 Voice
 949 / 474-6188 Fax

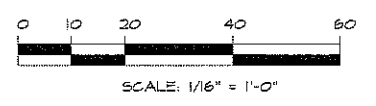


**GUEST SERVICES BUILDING
 SQUARE FOOTAGE**

LOBBY	1,187 S.F.
RESTAURANT/ BAR	2,198 S.F.
CONFERENCE 1	588 S.F.
CONFERENCE 2	588 S.F.
CONFERENCE 3	1,250 S.F.
KITCHEN	1,718 S.F.
PUBLIC RESTROOMS	582 S.F.
SPA RECEPTION/ RETAIL	1,343 S.F.
WOMEN'S & MEN'S SPA/ LOCKER	3,429 S.F.
SPA LOUNGE	832 S.F.
SPA TREATMENT ROOMS	3,044 S.F.
FITNESS CENTER	878 S.F.
EMPLOYEE/ UTILITY/ BOH.	4,290 S.F.
MANAGER'S UNIT	1,088 S.F.
2ND FLOOR YOGA	389 S.F.
TOTAL:	23,294 S.F.

Lincoln Avenue

FIRST FLOOR



Redevelopment of the

Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

Issue Date: 4-28-07

Scale: 1/16" = 1'-0"

Title:

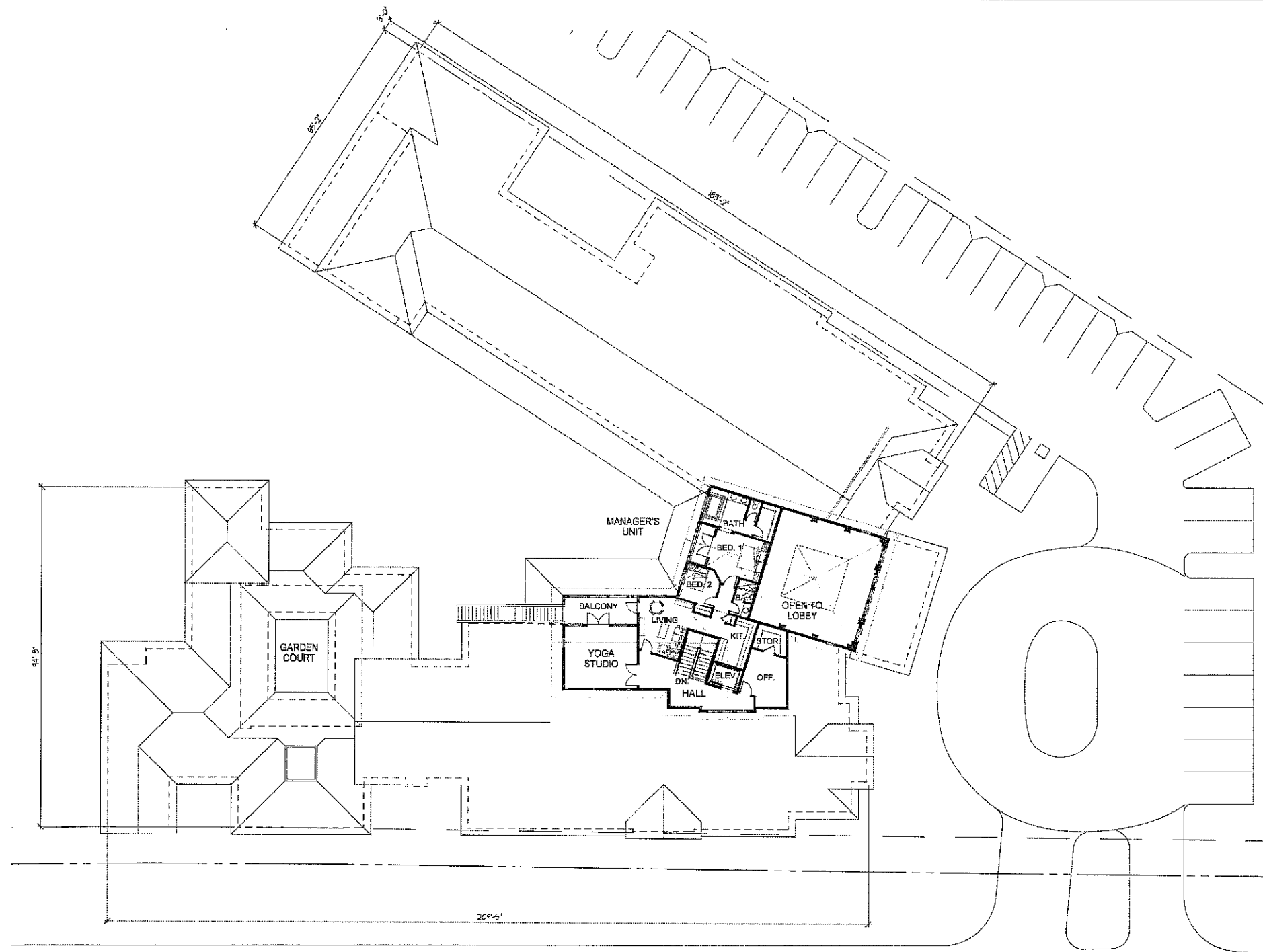
GUEST SERVICES
 BUILDING
 FIRST FLOOR

Sheet No.

A-6



Melzer Decker & Ruder Architects, Inc.
 8511 Irvine Center Drive
 Irvine, CA 92618
 949 / 474-8188 Voice
 949 / 474-8188 Fax



Lincoln Avenue

SECOND FLOOR



SCALE: 1/16" = 1'-0"

Redevelopment of the

Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

Issue Date: 9-28-07

Scale: 1/16" = 1'-0"

Title:

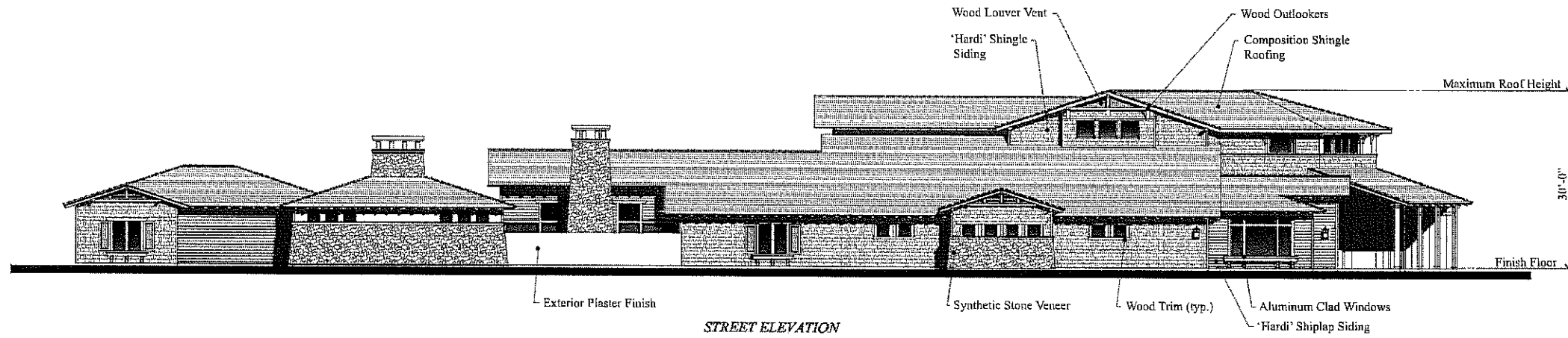
GUEST SERVICES
 BUILDING
 SECOND FLOOR
 & ROOF PLAN

Sheet No.

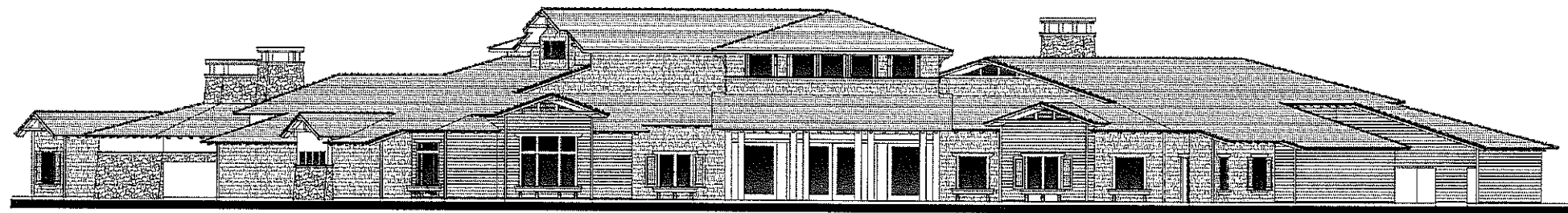
A-7



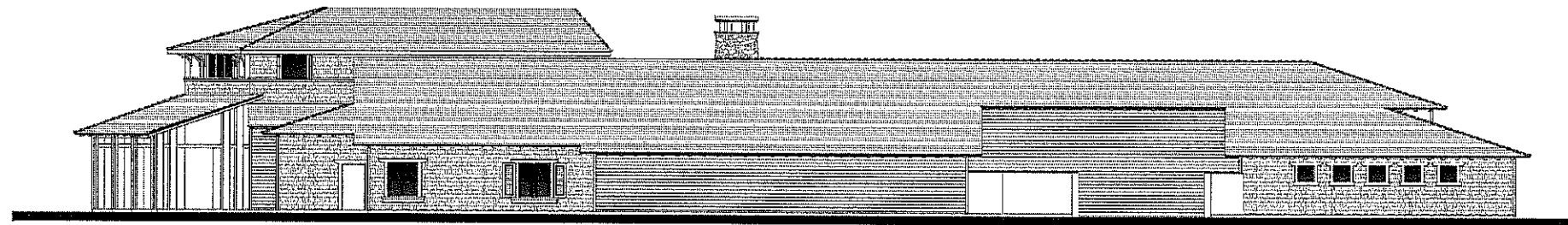
Melissa Deakins & Ruder Architects, Inc.
 25111 Valley Center Drive
 Irvine, CA 92618
 949-474-8100 Voice
 949-477-8189 Fax



STREET ELEVATION



ENTRY ELEVATION



REAR ELEVATION

Redevelopment of the

Prepared for: Silverado Lodging Company

Calistoga Village Inn and Spa

Issue Date: 6-25-07

Scale: 3/32" = 1'-0"

Title:

*GUEST SERVICES
 BUILDING
 ELEVATIONS*

Sheet No.

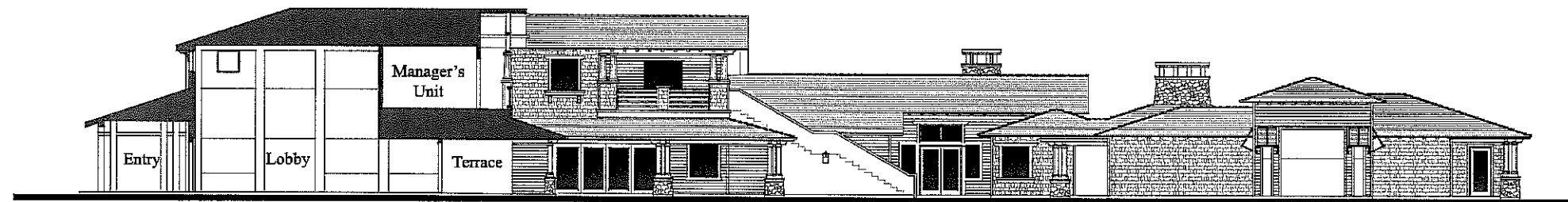
A-8



Milner Decker & Rucker Architects, Inc.
 8611 Irvine Center Drive
 Irvine, CA 92618
 949 / 474-8188 Voice
 949 / 474-8189 Fax



GARDEN LEFT ELEVATION/SECTION



GARDEN RIGHT ELEVATION/SECTION

Redevelopment of the

Calistoga Village Inn and Spa

Prepared for: Silverado Lodging Company

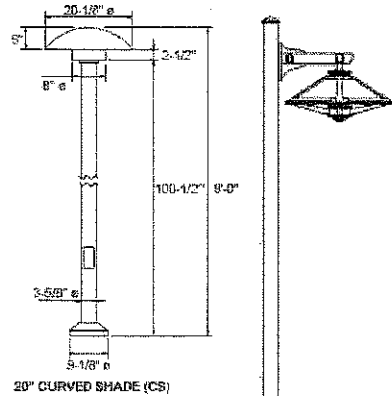
Issue Date: 6-26-07

Scale: 3/32" = 1'-0"

Title:
 GUEST SERVICES
 BUILDING
 ELEVATIONS
 & SECTIONS

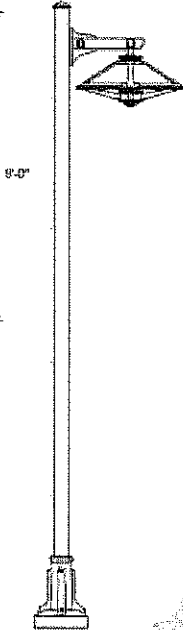
Sheet No.

A-9

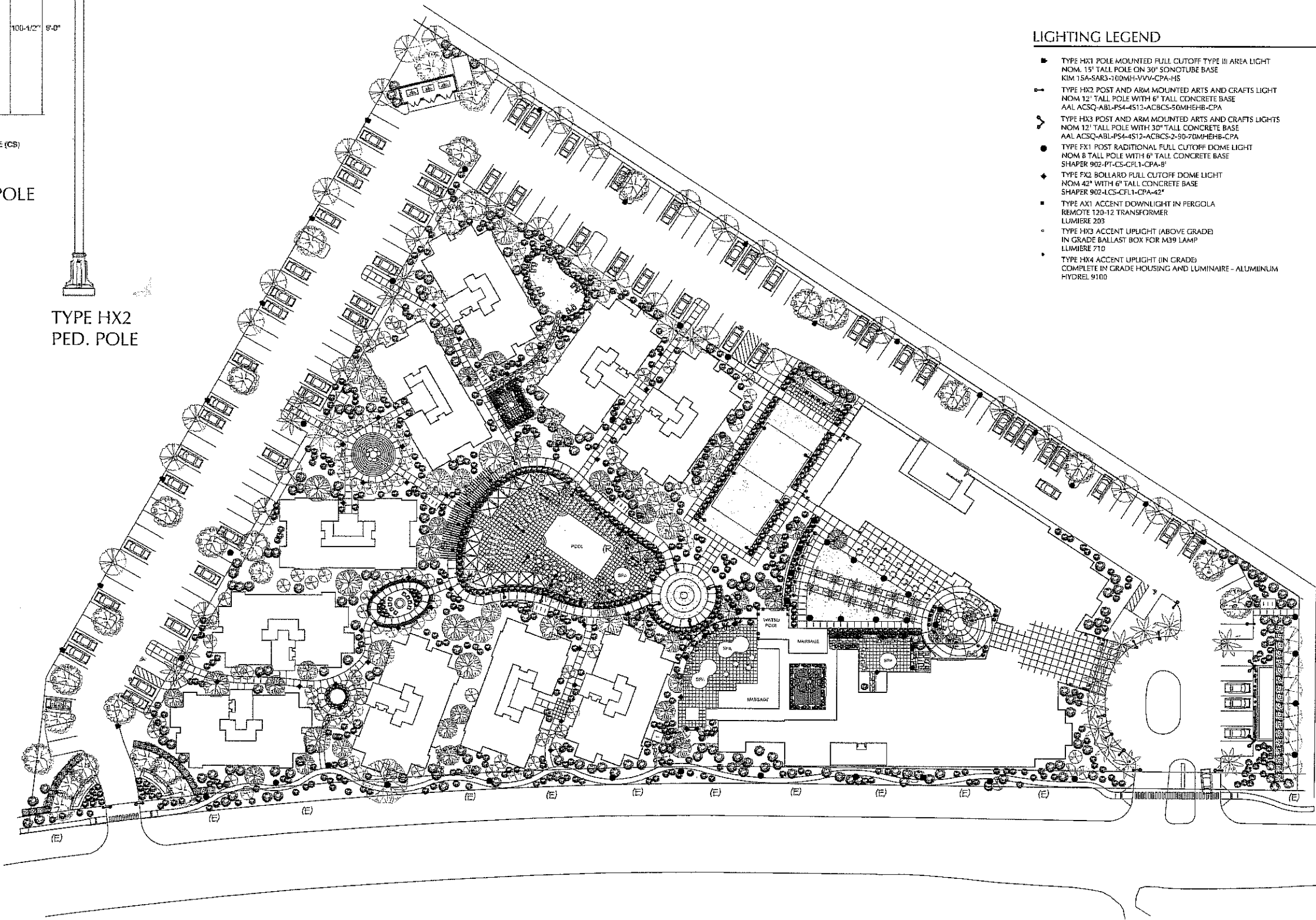


20° CURVED SHADE (CS)

TYPE FX1
SHORT POLE

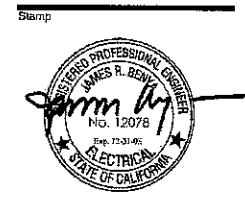


TYPE HX2
PED. POLE



LIGHTING LEGEND

- TYPE HX1 POLE MOUNTED FULL CUTOFF TYPE III AREA LIGHT
NOM. 15' TALL POLE ON 30" SONOTUBE BASE
KIM 15A-SAR3-100MH-VVV-CPA-HS
- TYPE HX2 POST AND ARM MOUNTED ARTS AND CRAFTS LIGHT
NOM 12' TALL POLE WITH 6" TALL CONCRETE BASE
AAL ACSQ-ABL-PS4-4512-ACBCS-50MH-HEB-CPA
- ⋄ TYPE HX3 POST AND ARM MOUNTED ARTS AND CRAFTS LIGHTS
NOM 12' TALL POLE WITH 30" TALL CONCRETE BASE
AAL ACSQ-ABL-PS4-4512-ACBCS-2-90-70MH-HEB-CPA
- TYPE FX1 POST ADDITIONAL FULL CUTOFF DOME LIGHT
NOM 8' TALL POLE WITH 6" TALL CONCRETE BASE
SHAPER 902-PT-CS-CFL1-CPA-8'
- ◆ TYPE FX2 BOLLARD FULL CUTOFF DOME LIGHT
NOM 42" WITH 6" TALL CONCRETE BASE
SHAPER 902-LCS-CFL1-CPA-42"
- TYPE AX1 ACCENT DOWNLIGHT IN PERGOLA
REMOTE 120-12 TRANSFORMER
LUMIERE 203
- TYPE HX3 ACCENT UPLIGHT (ABOVE GRADE)
IN GRADE BALLAST BOX FOR M39 LAMP
LUMIERE 710
- TYPE HX4 ACCENT UPLIGHT (IN GRADE)
COMPLETE IN GRADE HOUSING AND LUMINAIRE - ALUMINUM
HYDREL 9100



REDEVELOPMENT OF THE
CALISTOGA VILLAGE INN SPA
1880 Lincoln Avenue
Calistoga, CA 94515

Project

Revisions	
REV CIVIL BASE	12-6-07

SCALE: 1" = 30'
DATE: 12/7/07
DRAWN: BENYA

Lighting Plan

E1.0

APPROVAL SUBMITTAL - NOT FOR CONSTRUCTION

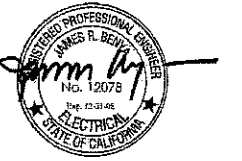


Suzman & Cole Design Associates
 Landscape Architecture
 1225 Battery Street Phone: 415.552.0111
 5th Floor Fax: 415.881.5193
 San Francisco, CA 94111 www.suzmancole.com

Consultant

Lighting Designer
 BENYA LIGHTING DESIGN
 3491 Cascade Terrace Phone: 903.657.0957
 West Linn, Oregon 97146 Fax: 903.742.1933

Stamp



APPROVAL SUBMITTAL - NOT FOR CONSTRUCTION

REDEVELOPMENT OF THE
 CALISTOGA VILLAGE INN SPA
 1880 Lincoln Avenue
 Calistoga, CA 94515

Project
 Revisions
 REV CIVIL BASE 12/6/07

SCALE: 1" = 30'

DATE: 12/7/07
 DRAWN: BENYA

Isocandle Study

E2.0


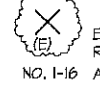


















EXISTING TREE DATA LEGEND PER ARBORIST REPORT

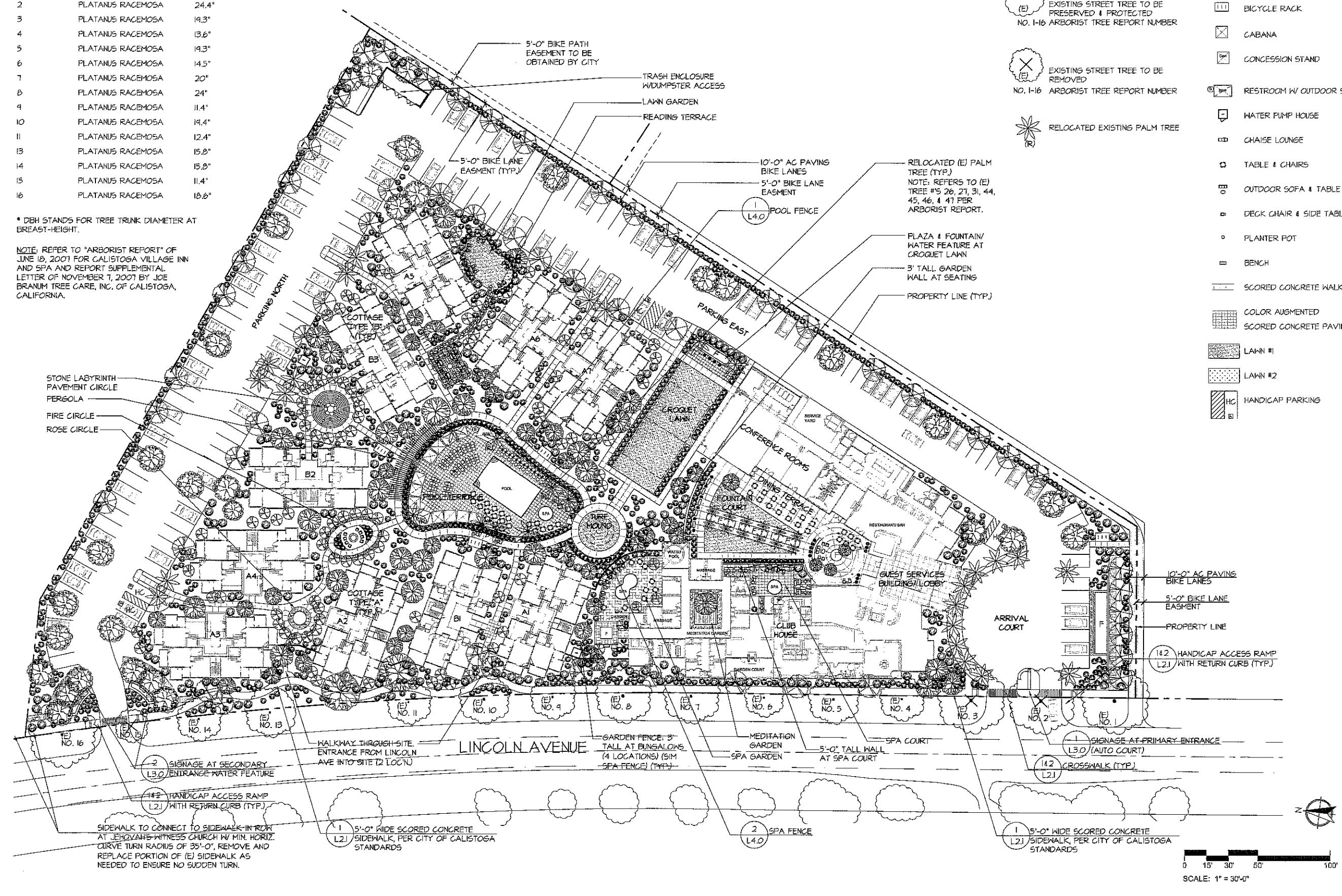
TREE NUMBER	SPECIES	SIZE (DBH)*
1	PLATANUS RACEMOSA	25"
2	PLATANUS RACEMOSA	24.4"
3	PLATANUS RACEMOSA	19.3"
4	PLATANUS RACEMOSA	13.6"
5	PLATANUS RACEMOSA	19.3"
6	PLATANUS RACEMOSA	14.5"
7	PLATANUS RACEMOSA	20"
8	PLATANUS RACEMOSA	24"
9	PLATANUS RACEMOSA	11.4"
10	PLATANUS RACEMOSA	19.4"
11	PLATANUS RACEMOSA	12.4"
13	PLATANUS RACEMOSA	15.8"
14	PLATANUS RACEMOSA	15.8"
15	PLATANUS RACEMOSA	11.4"
16	PLATANUS RACEMOSA	18.6"

* DBH STANDS FOR TREE TRUNK DIAMETER AT BREAST-HEIGHT.

NOTE: REFER TO "ARBORIST REPORT" OF JUNE 18, 2001 FOR CALISTOGA VILLAGE INN AND SPA AND REPORT SUPPLEMENTAL LETTER OF NOVEMBER 7, 2007 BY JOE BRANUM TREE CARE, INC. OF CALISTOGA, CALIFORNIA.

LEGEND

-  (E) EXISTING STREET TREE TO BE PRESERVED & PROTECTED
NO. 1-16 ARBORIST TREE REPORT NUMBER
-  (E) EXISTING STREET TREE TO BE REMOVED
NO. 1-16 ARBORIST TREE REPORT NUMBER
-  RELOCATED EXISTING PALM TREE
-  F FOUNTAIN / WATER FEATURE
-  BICYCLE RACK
-  CABANA
-  CONCESSION STAND
-  RESTROOM W/ OUTDOOR SHOWER
-  WATER PUMP HOUSE
-  CHAISE LOUNGE
-  TABLE & CHAIRS
-  OUTDOOR SOFA & TABLE
-  DECK CHAIR & SIDE TABLE
-  PLANTER POT
-  BENCH
-  SCORED CONCRETE WALKWAY
-  COLOR AUGMENTED SCORED CONCRETE PAVING
-  LAWN #1
-  LAWN #2
-  HANDICAP PARKING



CUP SUBMITTAL - NOT FOR CONSTRUCTION

SCDA
Suzman & Cole Design Associates
Landscape Architecture
1205 Battery Street Phone 415.252.0111
5th Floor Fax 415.251.0183
San Francisco, CA 94111 www.suzmancole.com

Consultant
Architect:
Mezler Decker & Ruder Architects, Inc.
18207 MacDonnell East Phone 949.472.9128
Suite A, Irvine, CA 92614 Fax 949.474.8188

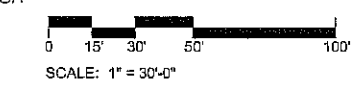
Civil Engineer:
Hatchers Spence & Associates
1541 Third Street Phone 707.252.3201
Napa, CA 94959 Fax 707.252.6666

REDEVELOPMENT OF THE
CALISTOGA VILLAGE INN SPA
1880 Lincoln Avenue
Calistoga, CA 94515

Project:
Revisions:
12/07/2007 REV. UP/DR PLAN
01/23/2008 REV. UP/DR PLAN

Issue: CU PERMIT
Date: 10/01/2007
Project No.: 0305
By: NH/KCF
Scale: 1" = 30'-0"

Sheet:
LANDSCAPE PLAN
L1.0



EXISTING TREE DATA LEGEND PER ARBORIST REPORT

TREE NUMBER	SPECIES	SIZE (DBH)*
1	PLATANUS RACEMOSA	25"
2	PLATANUS RACEMOSA	24.4"
3	PLATANUS RACEMOSA	19.3"
4	PLATANUS RACEMOSA	13.6"
5	PLATANUS RACEMOSA	19.3"
6	PLATANUS RACEMOSA	14.5"
7	PLATANUS RACEMOSA	20"
8	PLATANUS RACEMOSA	24"
9	PLATANUS RACEMOSA	11.4"
10	PLATANUS RACEMOSA	19.4"
11	PLATANUS RACEMOSA	12.4"
13	PLATANUS RACEMOSA	15.8"
14	PLATANUS RACEMOSA	15.8"
15	PLATANUS RACEMOSA	11.4"
16	PLATANUS RACEMOSA	18.6"

* DBH STANDS FOR TREE TRUNK DIAMETER AT BREAST-HEIGHT.

NOTE: REFER TO "ARBORIST REPORT" OF JUNE 18, 2007 FOR CALISTOGA VILLAGE INN AND SPA AND REPORT SUPPLEMENTAL LETTER OF NOVEMBER 7, 2007 BY JOE BRANUM TREE CARE, INC. OF CALISTOGA, CALIFORNIA.

SMALLER PLANTS (NO LEGEND)

PERENNIALS

- AGAPANTHUS 'STORM CLOUD' (LILY-OF-THE-NILE)
- ASTELIA CHATAMICA (SILVER SPEAR)
- CANNA 'BLACK KNIGHT' (CANNA LILY)
- CLIVIA MINIATA (AMARYLLIDICEAE)
- PHORMIUM HYBRIDS 'YELLOW WAVE' (AGAVACEAE)
- STRELITZIA SPP. (BIRD OF PARADISE)

ORNAMENTAL GRASSES

- MISCANTHUS TRANSMORRISONENSIS (EVERGREEN MISCANTHUS)
- MUHLENBERGIA CAPILLARIS (PINK MUHLY)
- PENNISETUM SETACEUM 'RUBRUM' (PURPLE FOUNTAIN GRASS)

FERNS

- CYRTOMIUM FALCATUM (JAPANESE HOLLY FERN)
- DRYOPTERIS ERYTHROSORA (AUTUMN FERN)
- POLYSTICHUM MINUTUM (SWORD FERN)

VINES AND GROUNDCOVERS

- BOUSAINVILLEA 'LA JOLLA' (NYCTAGINACEAE)
- CLYTOSTOMA CALLISTEGIOIDES (VIOLET TRUMPET VINE)
- PASSIFLORA JAMESONII (PASSION VINE)
- TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)

LEGEND

TREES



- PALM TREES
- CHAMAEROPS HUMILIS (MEDITERRANEAN FAN PALM)
 - PHOENIX DACTYLIFERA 'ZAHID' (DATE PALM)
 - TRACHYCARPUS FORTUNEI (WINDMILL PALM)
 - WASHINGTONIA FILIFERA (CALIFORNIA FAN PALM)



- DECIDUOUS TREES
- CATALPA SPECIOSA (NORTHERN CATALPA)
 - LAGESTROEMIA HYBRIDS 'NATCHEZ' (GRAPE MYRTLE)
 - PAULOWNIA TORMENTOSA (EMPRESS TREE)
 - PUNICA GRANATUM 'WONDERFUL' (POMEGRANATE)
 - ROBINIA IDAHOENSIS 'PURPLE ROBE' (LOCUST)



- EVERGREEN TREES
- ERIOBOTRYA DEFLEXA (BRONZE LOCUST)
 - OLEA EUROPAEA (OLIVE)
 - RHUS LANCEA (AFRICAN SUMAC)

SHRUBS (DECIDUOUS & EVERGREEN)

- ABUTILON HYBRIDS
- BUDDLEJA 'ADONIS BLUE' (BUTTERFLY BUSH)
- HIBISCUS 'HARDY' (MALVACEAE)
- PINEAPPLE GUAVA-FEIJOA (MYRTACEAE)
- PUNICA GRANATUM 'NANA' (DWARF POMEGRANATE)
- SOLANUM RANTONETII 'ROYAL ROBE' (SOLANACEAE)



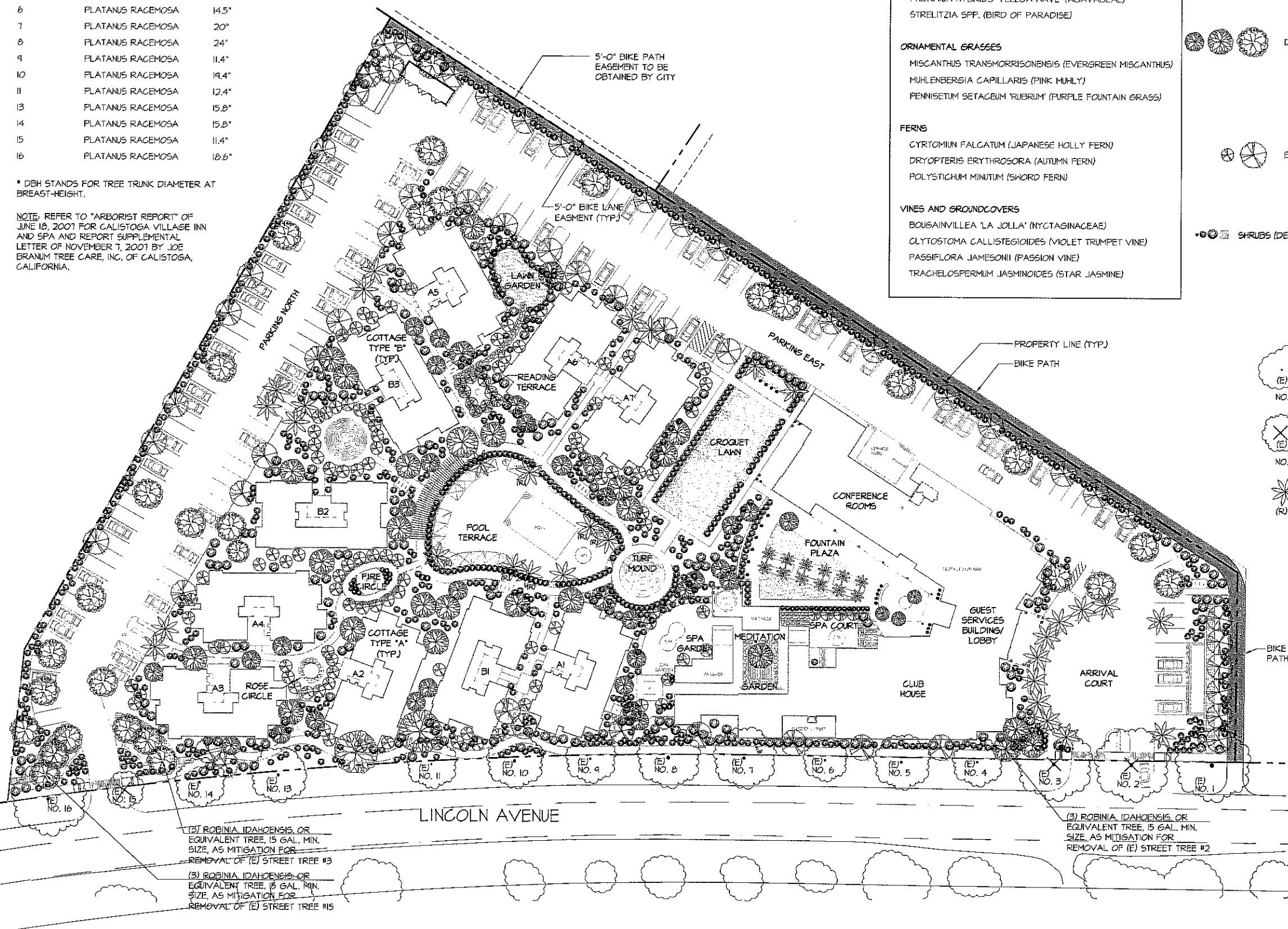
(E) EXISTING TREE TO REMAIN
NO. 1-16 ARBORIST REPORT TREE NUMBER



(E) EXISTING TREE TO BE REMOVED
NO. 2 ARBORIST REPORT TREE NUMBER



RELOCATED EXISTING PALM TREE



(3) ROBINIA IDAHOENSIS, OR EQUIVALENT TREE, 15 GAL. MIN. SIZE, AS MITIGATION FOR REMOVAL OF (E) STREET TREE #3
(3) ROBINIA IDAHOENSIS, OR EQUIVALENT TREE, 15 GAL. MIN. SIZE, AS MITIGATION FOR REMOVAL OF (E) STREET TREE #15

(3) ROBINIA IDAHOENSIS, OR EQUIVALENT TREE, 15 GAL. MIN. SIZE, AS MITIGATION FOR REMOVAL OF (E) STREET TREE #2

CUP SUBMITTAL - NOT FOR CONSTRUCTION

SC DA
Suzman & Coia Design Associates
Landscape Architecture
1305 Sany Street
3rd Floor
San Francisco, CA 94111
Phone: 415.262.0111
Fax: 415.261.5183
www.suzmancoia.com

Consultant:
Architect:
Messler Duckert & Ruder Architects, Inc.
18327 McSwain Road
Suite A
Orinda, CA 94654
Phone: 949.474.8196
Fax: 949.474.8195

Civil Engineer:
Riechers Spence & Associates
1541 Third Street
Naples, CA 94505
Phone: 707.252.3501
Fax: 707.252.4308

REDEVELOPMENT OF THE
CALISTOGA VILLAGE INN SPA
1880 Lincoln Avenue
Calistoga, CA 94515

Project:

Revisions
12/07/2007 REV. UP/DR PLAN
01/23/2008 REV. UP/DR PLAN

Issue	CU PERMIT
Date	10/01/2007
Project No.	0305
By	NH/KCF
Scale	1" = 30'-0"

PLANTING PLAN

L2.0



Suzman & Cole Design Associates
 Landscape Architecture
 1925 Battery Street
 8th Floor
 San Francisco, CA 94111
 Phone: 415.252.8111
 Fax: 415.861.6183
 www.suzmancoledesign.com

Consultant:
 Architect:
 Mezlar Deckert & Ruder Architects, Inc.
 18207 McDevitt East
 Suite A
 Irvine, CA 92614
 Phone: 949.474.8188
 Fax: 949.474.8189

Civil Engineer:
 Fischers Spence & Associates
 1641 Third Street
 Rohn Park, CA 94589
 Phone: 707.252.3301
 Fax: 707.252.4888

Stamp

REDEVELOPMENT OF THE
 CALISTOGA VILLAGE INN SPA
 1880 Lincoln Avenue
 Calistoga, CA 94515

CUP SUBMITTAL - NOT FOR CONSTRUCTION

Project

Revisions

12/07/2007 REV. UP/DR PLAN
01/25/2008 REV. UP/DR PLAN

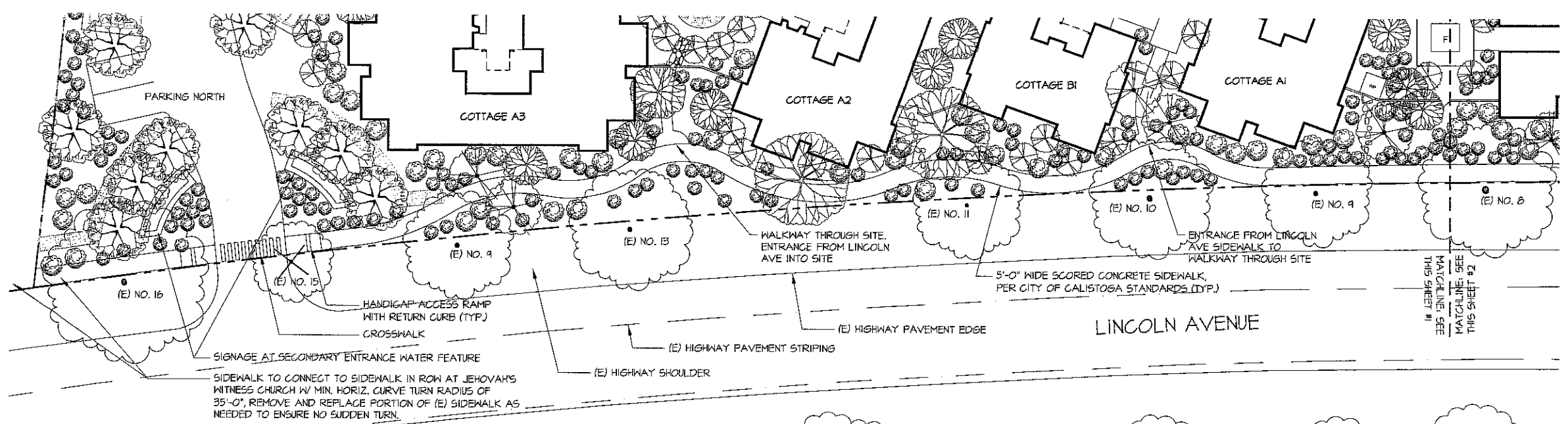
Issue	CU PERMIT
Date	10/01/2007
Project No.	0305
By	NH/KCF
Scale	1" = 16'-0"

Sheet

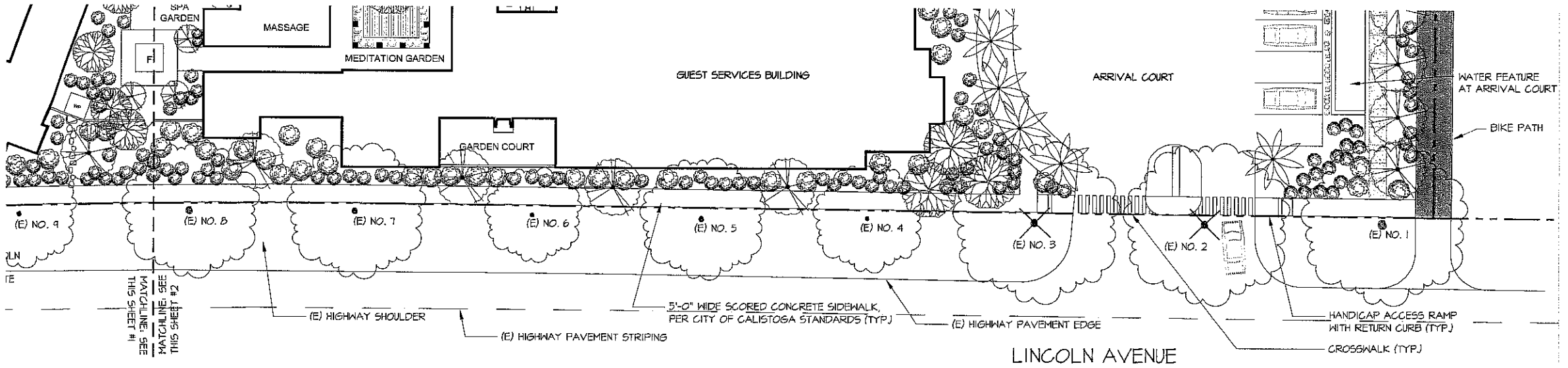
HIGHWAY EDGE PLAN

L2.1

1. S:\CADD\01\Projects\Calistoga\007.Cad\0305\Drawings\CUP\Sheet\L2.1_Highway Edge_Plan.dwg, Plotted: Jan 22, 2008 - 14:12
 © Suzman & Cole Design Associates 2005 All Rights Reserved



1 HIGHWAY EDGE NORTHWEST
 PLAN SCALE: 1/16" = 1'-0"

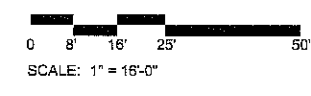


2 HIGHWAY EDGE SOUTHWEST
 PLAN SCALE: 1/16" = 1'-0"

LEGEND

- (E) NO. 1 EXISTING STREET TREE TO REMAIN W/ARBORIST REPORT NUMBER
- (E) NO. 1 EXISTING TREE TO BE REMOVED W/ARBORIST REPORT NUMBER
- PROPOSED SHRUBS
- PALM TREES
- EVERGREEN TREES
- DECIDUOUS TREES

NOTES:
 1. REFER TO LANDSCAPE PLAN SHEET L1.0 FOR LEGEND.
 2. REFER TO PLANTING PLAN SHEET L2.0 FOR STREET TREE INFORMATION.



© Suzman & Cole Design Associates, 2009. All Rights Reserved.

\\SMD-01SR\Projects\Calistoga\Drawings\CDP Sheets\2.D Elevations.dwg Jun 27, 2009 11:15

SC DA

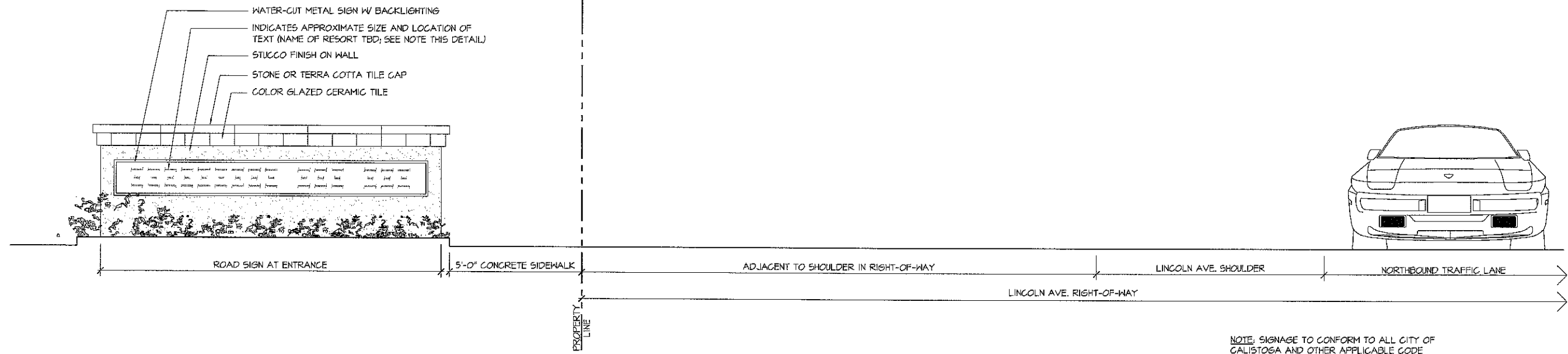
Suzman & Cole Design Associates
Landscape Architecture
1849 Battery Street
5th Floor
San Francisco, CA 94111
Phone: 415.253.2111
Fax: 415.253.2193
www.suzmancole.com

Consultant

Architect:
Mezler Decker & Ruder Architects, Inc.
1807 McDemott East
Suite A
Berkeley, CA 94714
Phone: 949.474.8188
Fax: 949.474.8188

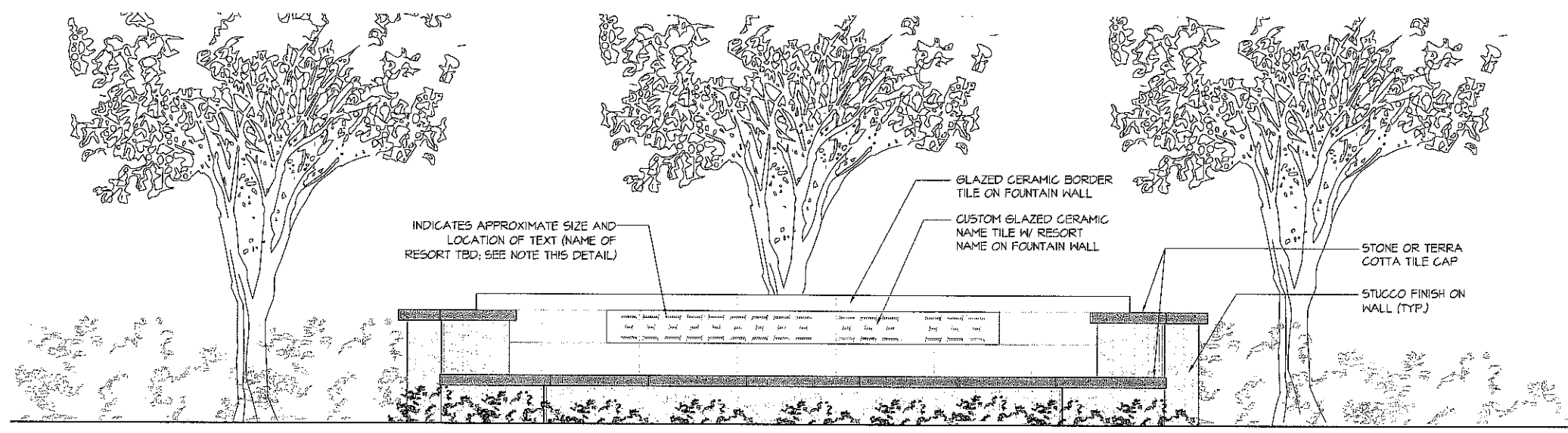
Civil Engineer:
Flechers Spence & Associates
1841 Third Street
Mesa, CA 94059
Phone: 707.253.2801
Fax: 707.253.4889

Stamp



NOTE: SIGNAGE TO CONFORM TO ALL CITY OF CALISTOGA AND OTHER APPLICABLE CODE AND REGULATIONS.

1 SIGNAGE AT PRIMARY ENTRANCE (AUTO COURT)
ELEVATION SCALE: 1/2" = 1'-0"



NOTE: SIGNAGE TO CONFORM TO ALL CITY OF CALISTOGA AND OTHER APPLICABLE CODE AND REGULATIONS.

2 SIGNAGE AT SECONDARY ENTRANCE WATER FEATURE
ELEVATION SCALE: 1/2" = 1'-0"

CUP SUBMITTAL - NOT FOR CONSTRUCTION

REDEVELOPMENT OF THE
CALISTOGA VILLAGE INN SPA
1880 Lincoln Avenue
Calistoga, CA 94515

Revisions

12/07/2007 REV. UPDR PLAN
01/23/2008 REV. UPDR PLAN

Issue	CU PERMIT
Date	10/01/2007
Project No.	0305
By	NH/SA
Scale	AS SHOWN

Sheet
**ROAD SIGN
ELEVATIONS**

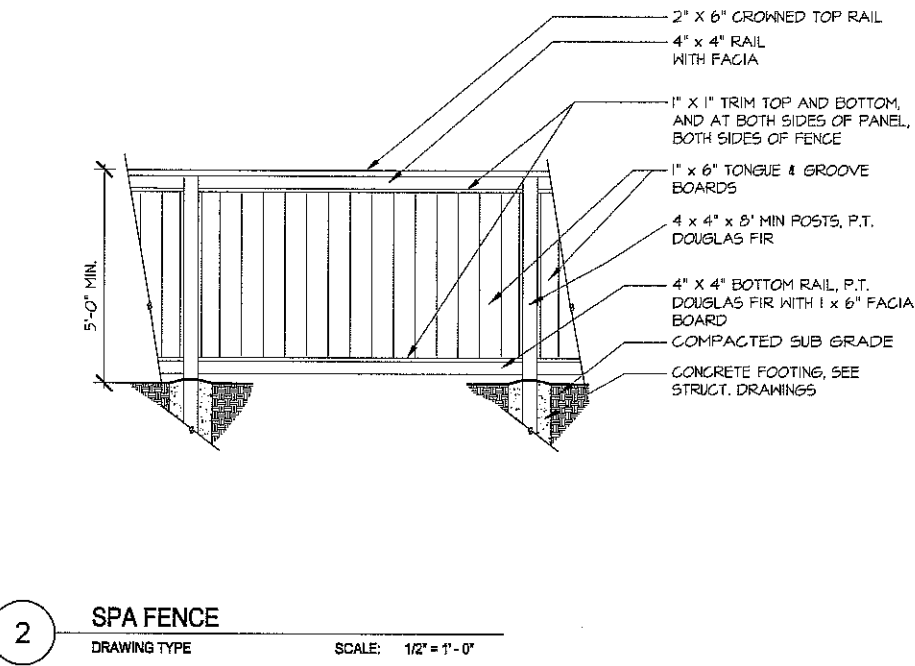
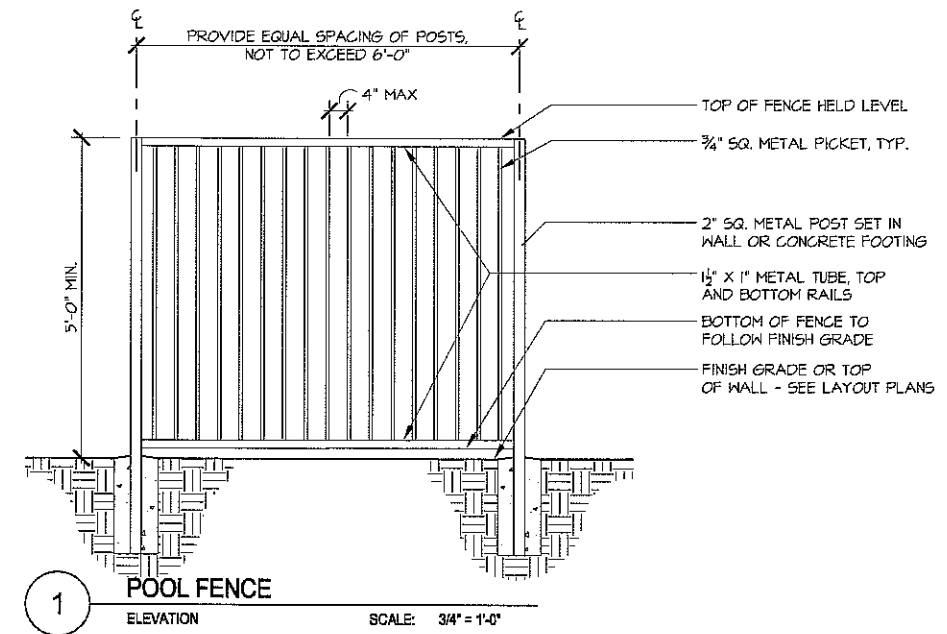
L3.0

of

© Suzman & Cole Design Associates 2006. All Rights Reserved.
P:\Calistoga\2007\10_Del\SCDA\Drawings\CUP_Sheets\L4_Fence & Columns.dwg Jun 22, 2006 - 13:39

**SC
DA**
Suzman & Cole Design Associates
Landscape Architecture
1026 Bakery Street
3rd Floor
San Francisco, CA 94111
Phone: 415.252.0111
Fax: 415.397.8188
www.suzandcole.com

Consultant:
Architect:
Mezler Deckert & Rudor Architects, Inc.
1927 McDermott East
Suite A
Irvine, CA 92614
Phone: 949.474.8188
Fax: 949.474.8188
Civil Engineer:
Fishers Spence & Associates
1541 Third Street
Naples, CA 94228
Phone: 707.252.2301
Fax: 707.252.4885



CUP SUBMITTAL - NOT FOR CONSTRUCTION

REDEVELOPMENT OF THE
CALISTOGA VILLAGE INN SPA
1880 Lincoln Avenue
Calistoga, CA 94515

Project:
Revisions:
12/07/2007 REV. UP/DRAW PLAN
01/23/2006 REV. UP/DRAW PLAN
Issue: CU PERMIT
Date: 10/01/2007
Project No.: 0305
By: NH/SA
Scale: AS SHOWN

Sheet:
FENCE
DETAILS
L4.0