

GENERAL CONDITIONS

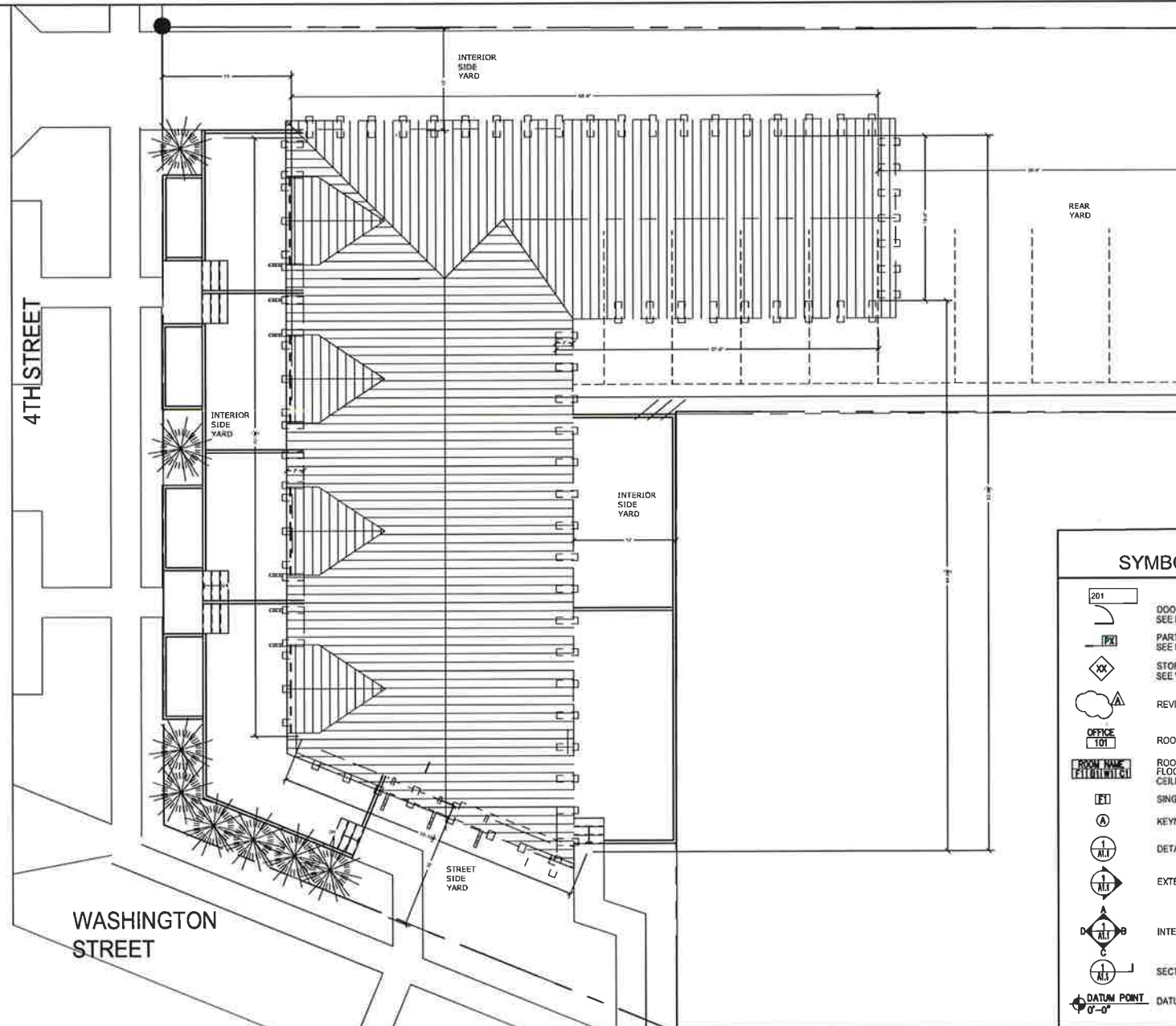
GENERAL CONDITIONS:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ON SITE TO ARRANGE JOB SCHEDULING WITH THE OWNER'S REPRESENTATIVE, ARCHITECT AND CLIENT.
2. THE CONTRACTOR SHALL SCHEDULE WORK AND COORDINATE WITH THOSE DOING OTHER WORK TO AVOID DELAYS, INTERFERENCE AND UNNECESSARY WORK.
3. THE CONTRACTOR SHALL MAKE NECESSARY CHANGES, INCLUDING REMOVAL & REINSTALLATION OF MATERIALS AT HIS SOLE EXPENSE, IF HE FAILS TO CHECK WITH THOSE DOING OTHER WORK AND HIS INSTALLED WORK IS LATER FOUND TO INTERFERE WITH SUCH WORK.
4. WHERE WORK OF ONE TRADE JOINS, OR IS ON OTHER WORK, THERE SHALL BE NO DISCREPANCY WHEN SAME IS COMPLETED. IN ENGAGING ONE KIND OF WORK WITH ANOTHER, MARRING OR DAMAGING SAME WILL NOT BE PERMITTED. SHOULD IMPROPER WORK OF ANY TRADE BE COVERED BY ANOTHER WHICH RESULTS IN DAMAGE OR DEFECTS, THE WHOLE WORK AFFECTED SHALL BE MADE GOOD BY THE CONTRACTOR WITHOUT EXPENSE OR DELAY TO THE PROJECT OR PROJECT SCHEDULE.
5. THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON DRAWINGS PROVIDED BY THE OWNER ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
6. THE CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA BY CONSTRUCTION OF DUST BARRIERS AS MAY BE REQUIRED BY THE SCOPE OF WORK.
7. THE CONTRACTOR SHALL PATCH & REPAIR ALL FIRE PROOFING DAMAGE INCURRED DURING CONSTRUCTION. THE CONTRACTOR SHALL FIREPROOF ALL PENETRATIONS THROUGH RATED ASSEMBLIES GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
8. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE BUILDING BEFORE ORDERING MATERIAL OR DOING ANY WORK. IF ANY INCONSISTENCIES OCCUR, THE CONTRACTOR SHALL REPORT, TO THE ARCHITECT, ANY INCONSISTENCIES OR ERRORS IN WORK OF OTHERS, AFFECTING THE COMPLETION OF HIS WORK. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED & CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE PARTITION LAYOUT IS ACCURATE. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM TO THE ARCHITECT & OBTAIN CLARIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED AND CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
10. CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.
11. **DO NOT SCALE DRAWINGS.** WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.

SUBSTITUTIONS

1. FOR PRODUCTS INDICATED OR SPECIFIED ONLY BY REFERENCE STANDARD, SELECT ANY PRODUCT MEETING SUCH STANDARD.
2. FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING SEVERAL PRODUCTS OR MANUFACTURERS, SELECT ANY ONE OF THE PRODUCTS OR MANUFACTURERS NAMED WHICH COMPLIES WITH THE SPECIFIED REQUIREMENTS AND SUBMIT A REQUEST FOR SUBSTITUTION IN THE SAME MANNER AS FOR SUBSTITUTIONS FOR A PRODUCT OR MANUFACTURER NOT SPECIFICALLY NAMED.
3. FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING ONE MANUFACTURER, FOLLOWED BY THE WORDS "OR APPROVED EQUAL", SUBMIT A REQUEST FOR REVIEW OF A SUBSTITUTION FOR A PRODUCT OR MANUFACTURER NOT SPECIFICALLY NAMED.
4. FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING ONLY ONE PRODUCT AND MANUFACTURER, THERE IS NO SUBSTITUTION.

SITE AND ROOF PLAN 1/8"=1'-0"



VICINITY (CALISTOGA ZONING)

DRAWING INDEX

ARCHITECTURAL

A0.0	COVER SHEET AND SITE PLAN
A0.2	RENDERINGS
A2.1	FIRST LEVEL FLOOR PLAN
A2.2	SECOND LEVEL FLOOR PLAN
A3.1	ELEVATIONS

CIVIL

DR.1	COVER SHEET
DR.2	HARDSCAPE PLAN
DR.3	GRADING PLAN

LANDSCAPE

L1.0	LAYOUT
L2.0	PLANTING
L2.1	PLANTING PALLETTE
L3.0	IRRIGATION
L3.1	IRRIGATION DETAILS

NOTE: THIS IS A NEW 4 UNIT MULTI-FAMILY DWELLING OF 5680 SF, 3187 SQUARE FEET SECOND FLOOR (40% OF LOT AREA OF 9032 SF) AND 2493 FIRST FLOOR

SYMBOL LEGEND

	DOOR SYMBOL SEE DOOR SCHEDULE A2.5
	PARTITION TYPE SEE PARTITION SCHEDULE A9.1
	STOREFRONT OR WINDOW SEE WINDOW SCHEDULE A2.5
	REVISION CLOUD AND NUMBER
	OFFICE
	ROOM NAME & NUMBER
	ROOM FINISH TAG FLOOR, BASE, WALL, & CEILING FINISH CODES
	SINGLE FINISH TAG
	KEYNOTE SYMBOL
	DETAIL BUBBLE
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	SECTION TAG
	DATUM POINT

NOTE: ALL ROOFING TO BE INSTALLED BY LICENSED/CERTIFIED ROOFING SUBCONTRACTOR ANY AND ALL PROBLEMS/QUESTIONS AND DISCREPANCIES ASSOCIATED WITH ROOFING TO BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR AND ARCHITECT AND TO BE RESOLVED BY A LICENSED/CERTIFIED ROOFING SUBCONTRACTOR

PLANNING APPLICATION

SCOPE OF WORK:
THESE DRAWINGS DESCRIBE A NEW 4 UNIT MULTI-FAMILY DWELLING OF 5680 SF, 3187 SQUARE FEET SECOND FLOOR (40% OF LOT AREA OF 9032 SF) AND 2493 FIRST FLOOR IN CALISTOGA CALIFORNIA ON A LOT OWNED BY ALLA REYKHEL AND DIMITRIY LAKTIONAV. THIS SET CONTAINS ARCHITECTURAL PLANS AS PART OF THIS PLANNING APPLICATION.

APPLICABLE BUILDING CODES

THE FOLLOWING CODES, AS AMENDED BY THE CITY OF CALISTOGA, ARE APPLICABLE TO THIS PROJECT:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2016 CALIFORNIA RESIDENTIAL CODE AND THE 2013 CALIFORNIA GREEN BUILDING CODE

SQUARE FOOTAGE SUMMARY

	PROPOSED	TOTAL 1ST FLOOR
GROUND LEVEL	2493 SF	
SECOND LEVEL	3187 SF	
	5680 SF	
FOOTPRINT	3187SF	
	40 %	

PROJECT TEAM

PROPERTY OWNER	ARCHITECT
DIMITRIY LAKTIONOV 1514 WASHINGTON STREET CALISTOGA, CA 94515TEL. TEL. (415)846-1353	DAVID KESLER ARCHITECT 4739 25th Street SF CA 94114 510 710 7910 DAVIDKESLER@YAHOO.COM



1514 WASHINGTON

ZONING CODE INFORMATION-R-3 MULTI-FAMILY RESIDENTIAL/OFFICE ZONING DISTRICT

APN #:	11-202-011-000
BUILDING TYPE: ZONING DISTRICT:	VB R-3 MULTI FAMILY RESIDENTIAL
MINIMUM	PROPOSED
INTERIOR SIDE YARD SETBACK: 11'-6"	12' & 12'-6"
REAR YARD SETBACK: 15'	26'-11"
FRONT YARD SETBACK: 15'	15'
STREET SIDE YARD SETBACK: 15'	15'
MAX. HEIGHT: 25' TO MIDPOINT ROOF	24' PROPOSED
MAX. STORIES:	2 PROPOSED
LOT SIZE:	9203 SF
TOTAL SQUARE FOOTAGE:	5680 SF (EXTERIOR) (2493 SF FIRST FL. + 3187 2ND FL.)
LOT COVERAGE:	40% MAXIMUM: 40% PROVIDED
UNITS: 4	4- PROPOSED
MINIMUM PARKING: 2/UNIT	2/UNIT PROPOSED

DAVID KESLER
ARCHITECT

4739 25th STREET

SAN FRANCISCO CA
TEL 510.710.7910

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NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.08.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY
RESIDENCE
1514 WASHINGTON
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:

STRUCTURAL ENGINEER

TBD

SHEET DESCRIPTION:

COVER SHEET & SITE PLAN

JOB NUMBER: 1514 WASHINGTON

SCALE: AS NOTED

DATE: 022218

DRAWN BY: DAK

CHECKED BY: DAK

CAD TITLE: 1514 WASHINGTON

SHEET NUMBER:

A0.0



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NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.09.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY
RESIDENCE
1514 WASHINGTON
CALISTOGA CA.



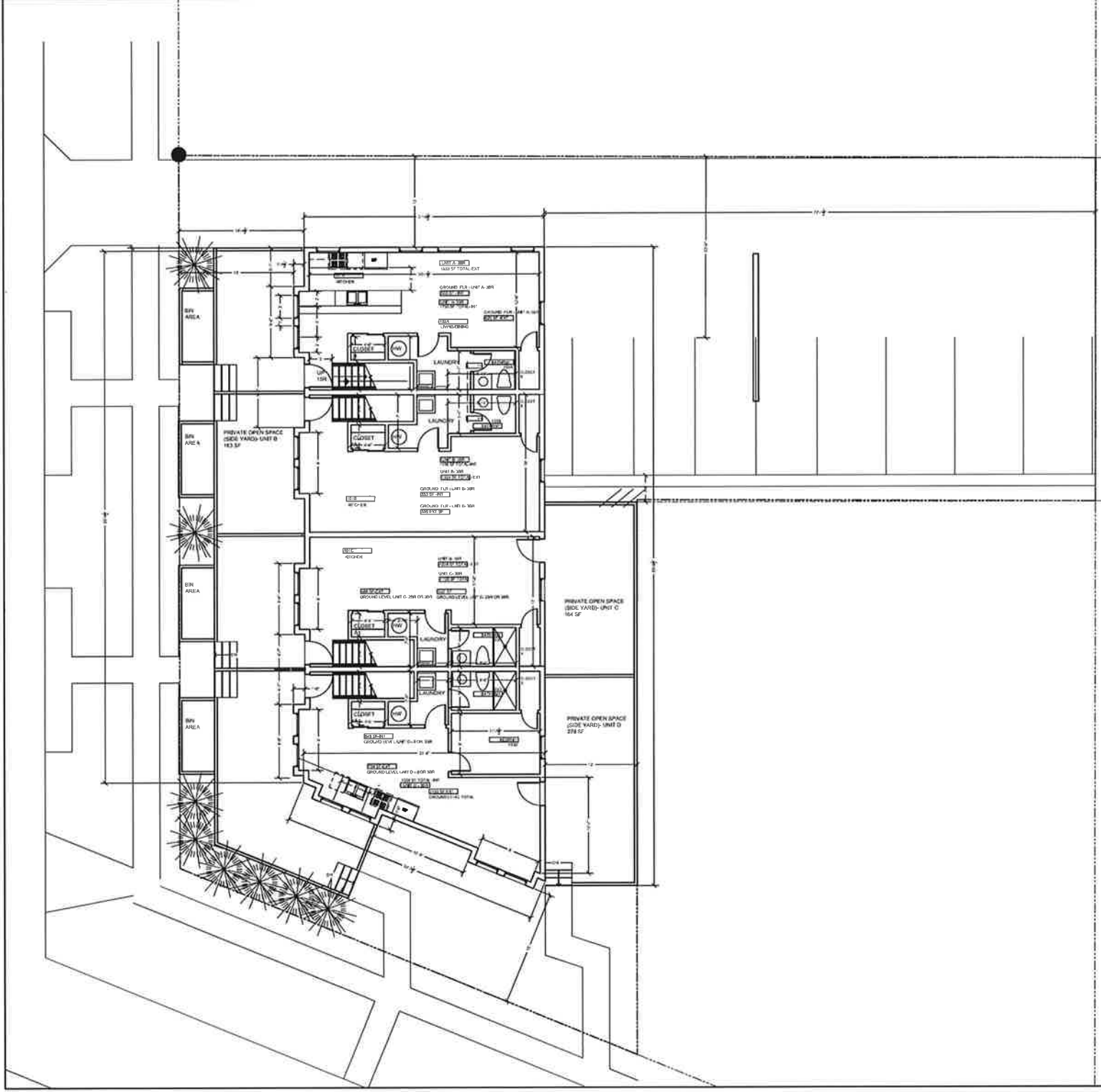
STATE OF CALIFORNIA

CONSULTANTS:
STRUCTURAL ENGINEER
TBD

SHEET DESCRIPTION:
**GROUND LEVEL
PLANS**

JOB NUMBER: 1514W
SCALE: AS NOTED
DATE: 123117
DRAWN BY: DAK
CHECKED BY: DAK
CAD TITLE: 1514W - A2.1
SHEET NUMBER:

A2.1



1 GROUND FLOOR PLAN
1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.09.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY
RESIDENCE
1514 WASHINGTON
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:

STRUCTURAL ENGINEER

TBD

SHEET DESCRIPTION:

2ND FL
PLANS

JOB NUMBER: 1514W

SCALE: AS NOTED

DATE: 123017

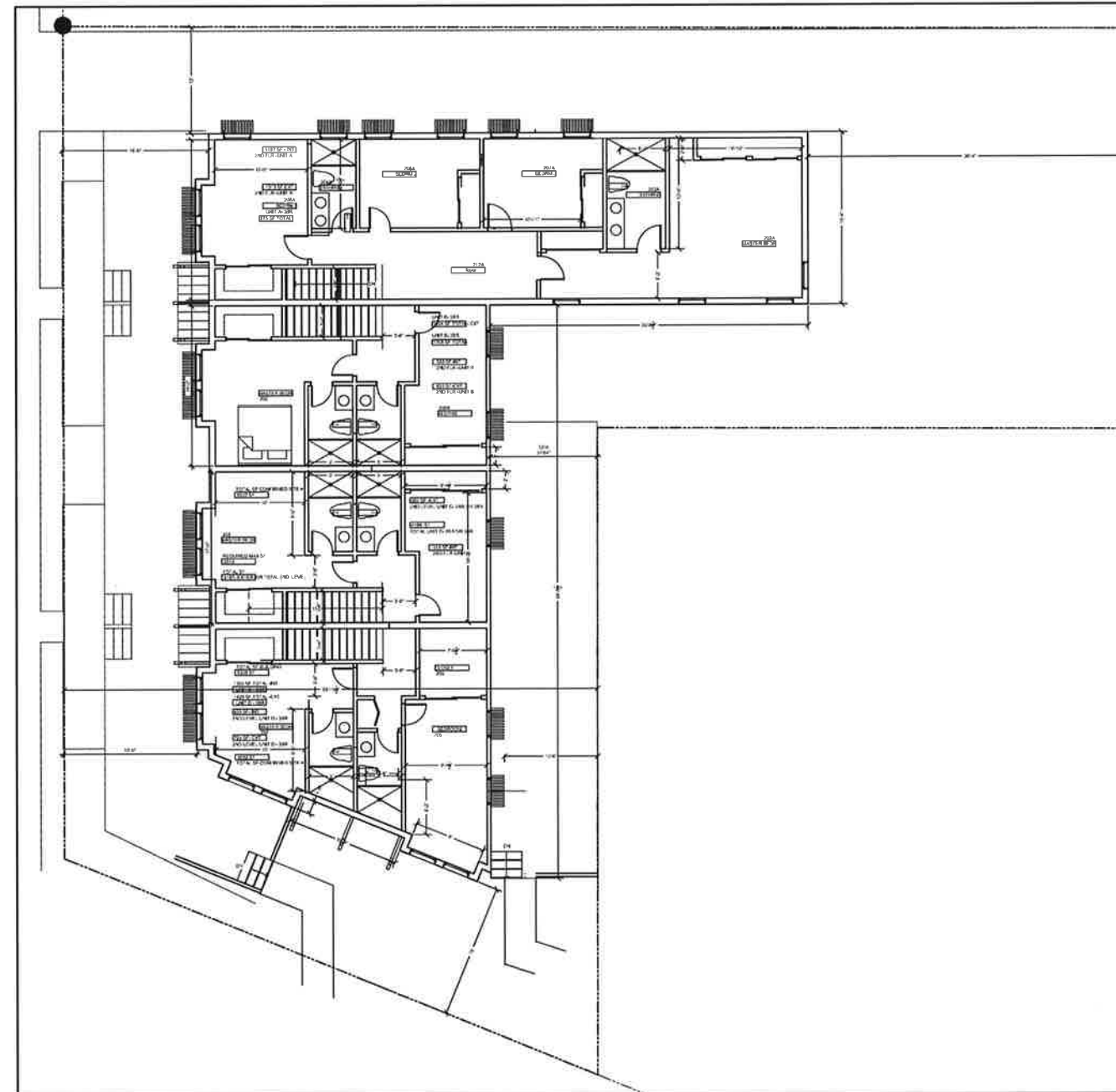
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CHECKED BY: DAK

CAD TITLE: 1514W - A2.2

SHEET NUMBER:

A2.2



1 SECOND FLOOR PLAN
1/8" = 1'-0"

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01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.09.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY
RESIDENCE
1514 WASHINGTON
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:
STRUCTURAL ENGINEER
TBD

SHEET DESCRIPTION:
ELEVATIONS

JOB NUMBER:	1514W
SCALE:	AS NOTED
DATE:	123117
DRAWN BY:	DAK
CHECKED BY:	DAK
CAD TITLE:	1514W - A3.1
SHEET NUMBER:	

MATERIAL NOTES:

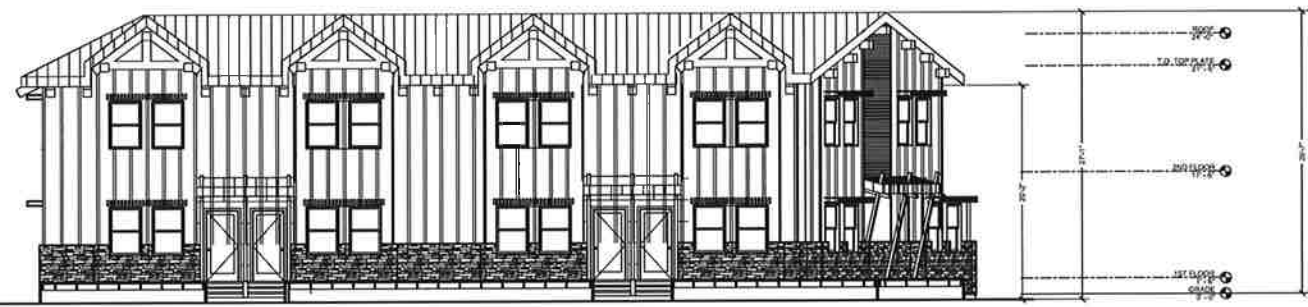
STANDING SEAM ALUMINUM ROOFING,

HARDI-PANEL IN BROWN/GREEN TO BE APPROVED BY CALISTOGA PLANNING (VARIATIONS OF THE MONASTERY COLOR ON WASHINGTON) WITH 2.25" VERTICAL BATTEN

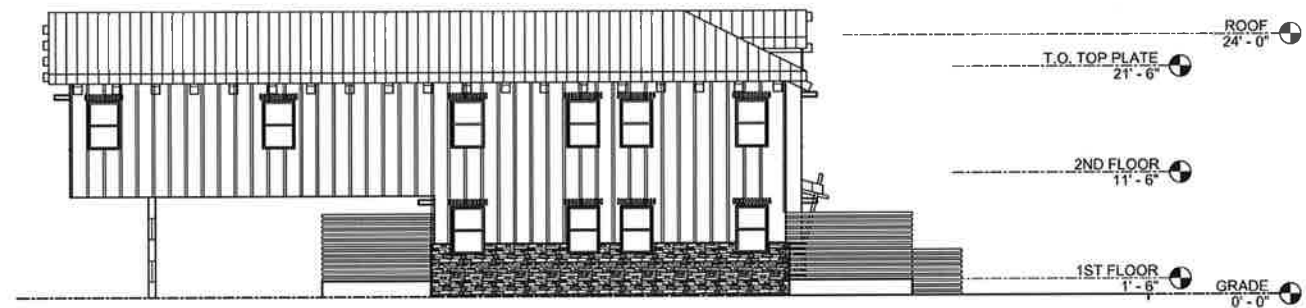
STONE BASE TILE OR A SECOND HARDI-PANEL TILE IN A BROWN VARIATION AT THE BASE-

WINDOWS ARE BLACK ALUMINUM DOUBLE HUNG

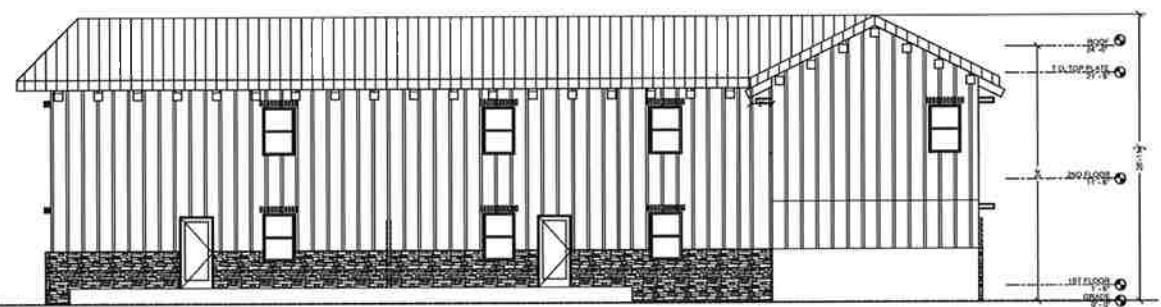
GLASS AND WOOD DOORS
STANDING SEAM PORCH AWNINGS
WOOD DECK- THE PROJECT USES 18" CLEARANCE CRAWL SPACE (NO SLAB-ON GRADE).



1 WEST (4TH STREET-FRONT) ELEVATION
1/8" = 1'-0"



2 EAST (CAR ENTRY) ELEVATION
1/8" = 1'-0"



3 EAST (REAR) ELEVATION
1/8" = 1'-0"



4 SOUTH (WASHINGTON STREET - SIDE) ELEVATION
1/8" = 1'-0"

PROJECT STATEMENT

THE PURPOSE OF THIS PROJECT IS TO OBTAIN DESIGN REVIEW APPROVAL FOR A PROPOSED MULTI-FAMILY DEVELOPMENT AT 1514 WASHINGTON ST, CALISTOGA, CA.

SURVEY NOTES

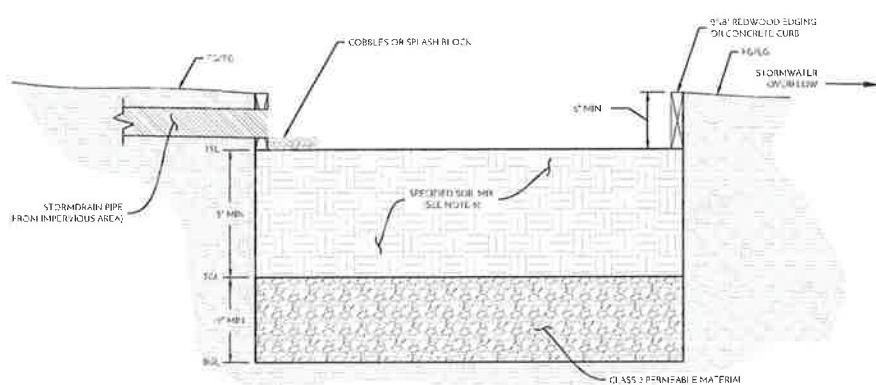
- 1. THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF FEBRUARY, 2018 PERFORMED BY LESQUIRE ENGINEERS, INC.
2. THIS SURVEY IS ON AN ASSUMED DATUM.
3. SEE BENCHMARK DESCRIPTION "CONTROL POINT #899" FOR NAD ELEVATION + 99.22 (ASSUMED).
4. MECHANICAL ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
5. CONTRACTORS SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.

ESTIMATED EARTHWORK QUANTITIES

- 1. THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BUILDING FACTORS, GRADING PRACTICES AND COMPACTION VALUES.
2. THE UNADJUSTED QUANTITIES HAVE BEEN DERIVED USING A VOLUMETRIC ANALYSIS BETWEEN THE EXISTING AND PROPOSED FINISHED GRADE ELEVATIONS.
3. THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE WHEN DERIVING ADJUSTED QUANTITY ESTIMATES:
- QUANTITIES FROM UTILITY TRENCHES, FOUNDATION TRENCHES AND STORMWATER DETENTION BASINS HAVE NOT BEEN SUBTRACTED.
- QUANTITIES RELATED TO OVERCUT AND UNDERCUT HAVE NOT BEEN ESTIMATED.
4. CONTRACTOR SHALL WORK WITH THE PROJECT GEOLOGICAL ENGINEER TO DETERMINE IF COMPACTION AND BUILDING FACTORS ARE APPLICABLE TO THE PROPOSED GRADING ACTIVITIES. THESE FACTORS HAVE THE POTENTIAL TO SIGNIFICANTLY AFFECT THE QUANTITIES IDENTIFIED IN THIS ANALYSIS.
5. SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT.

Table with 3 columns: EARTHWORK TYPE, UNADJUSTED QUANTITIES (CY), ADJUSTED QUANTITIES (CY). Rows include CUT, FILL, ESTIMATED NET EARTHWORK, BALANCED.

THE APPROXIMATE AREA OF DISTURBED SOIL IS + 600 SF (+/- AC).



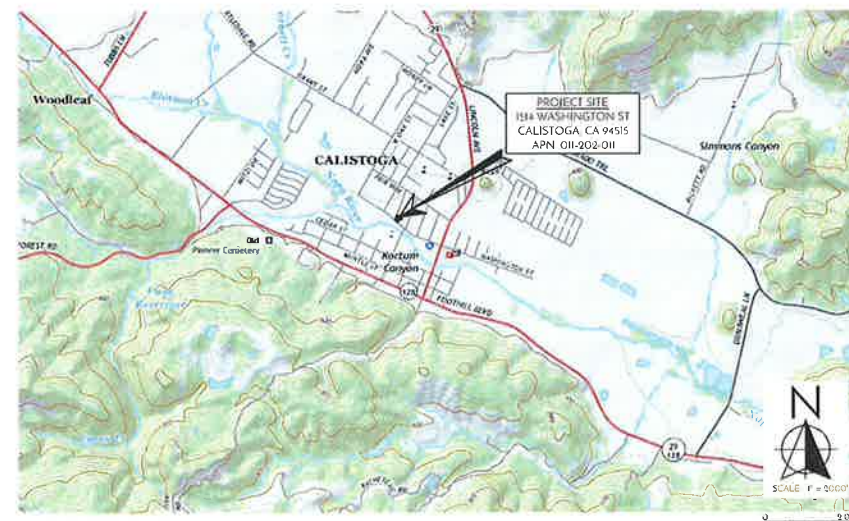
- NOTES:
1. FACILITIES LOCATED WITHIN 10 FEET OF STRUCTURES SHALL INCORPORATE AN IMPERVIOUS CUTOFF WALL.
2. FACILITIES LOCATED IN AREAS OF HIGH GROUNDWATER, HIGH VIBRATORY SOILS OR WHERE CONNECTION OF THE LINDRAIN TO A SURFACE DRAIN OR SUBSURFACE STORM DRAIN ARE UNPRACTICAL, SHALL USE THE UNDERDRAIN.
3. NO LINER OR FILTER FABRIC, NOR LANDSCAPE CLOTH.
4. MAINTAIN SIG. ELEV. AT ELEV. ELEVATIONS AS SPECIFIED ON THE PLANS.
5. CLASS 2 PERMEABLE LAYER MAY EXTEND BELOW AND UNDER INLETH DROP INLET.
6. REQUIRED SOIL MIX: 60% 75% FINE SAND, 30% MIN. COMPOST (NO LIME BASE). SOIL SHALL BE CAPABLE OF ACHIEVING A LONG-TERM IN-PLACE INFILTRATION RATE OF AT LEAST SIX INCHES PER HOUR. SOIL SHALL ALSO SUPPORT VIGOROUS PLANT GROWTH.

BIORETENTION FACILITY NO SUBDRAIN

NOT TO SCALE

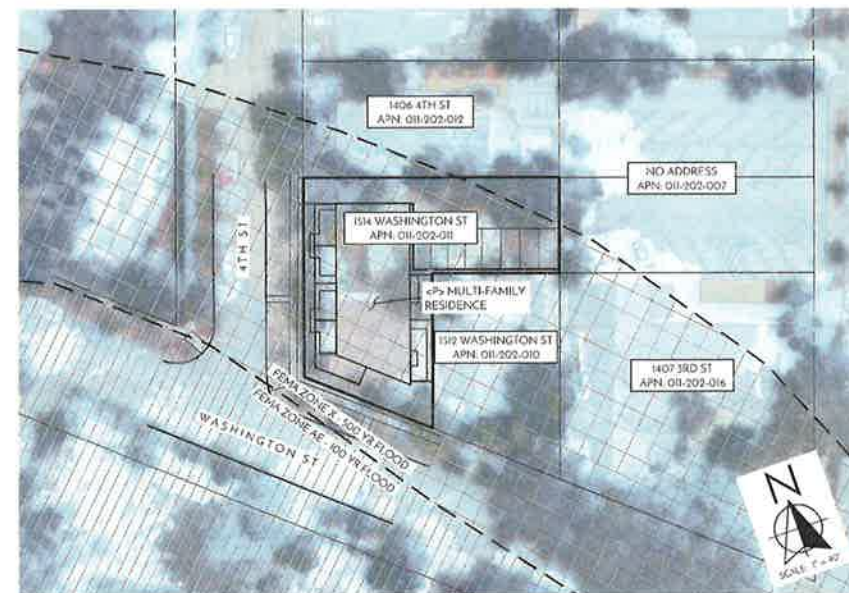
CIVIL IMPROVEMENT PLANS FOR: MULTI-FAMILY HOUSING

1514 WASHINGTON ST CALISTOGA, CA, 94515



VICINITY MAP

MAP FROM USGS 7.5 MIN SERIES MAP NAME CALISTOGA



SITE MAP

ABBREVIATIONS

Table listing abbreviations for various engineering and construction elements, such as AC (Asphalt Concrete), AD (Area Drain), DC (Downspout), etc.

SYMBOL LEGEND

Table listing symbols for various engineering and construction elements, such as utility poles, wells, streetlights, trees, and various types of pipes and drains.

SHEET INDEX

Table with 2 columns: Sheet ID and Description. Includes DR1.0 (Cover Sheet), DR2.0 (Hardscape Plan), and DR3.0 (Grading Plan).

PROJECT INFORMATION

Table containing project details: Owner (DMITRI LAKTIONOV), Architect (DAVID KESLER), Site Address (1514 WASHINGTON ST), Assessor Parcel # (011-202-011), City Zoning (R-3), Surveyor (LESCURE ENGINEERS, INC), and Civil Engineer (MADRONE ENGINEERING).

NOT FOR CONSTRUCTION

Professional Engineer Seal for David Kesler, State of California, License No. 50518.

MADRONE ENGINEERING logo and address: 1485 Main Street, Suite 302, St Helena, California 94754.

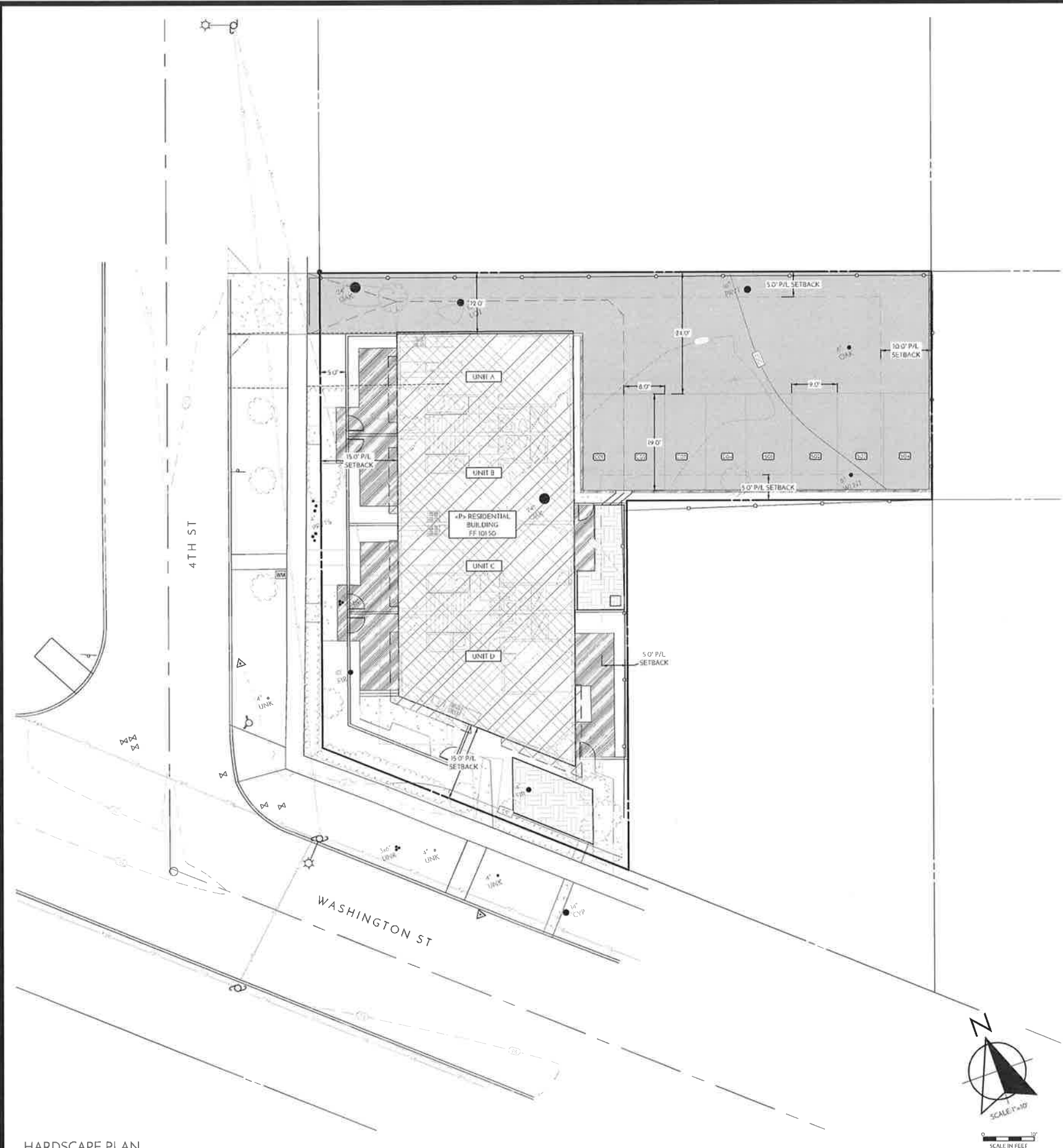
CIVIL IMPROVEMENT PLANS COVER SHEET

MULTI-FAMILY HOUSING 1514 WASHINGTON ST CALISTOGA, CA 94515 APN: 011-202-011 PROJECT 18-024



DATE: 04/27/18 ISSUE: DESIGN REVIEW

SHEET: DR1.0



HARDSCAPE LEGEND

TYPE OF IMPERVIOUS SURFACE	AREA DESCRIPTIONS	AREA (SF)	TYPICAL SECTION	PERVIOUS/ IMPERVIOUS
BUILDINGS, GARAGES, CARPORTS, OTHER STRUCTURES WITH ROOFS	BUILDINGS	2,870	N/A	IMPERVIOUS
	WOOD DECK	765	N/A	IMPERVIOUS
PATIO, IMPERVIOUS DECKING, PAVERS AND IMPERVIOUS LINERS	CONCRETE	0	N/A	IMPERVIOUS
SIDEWALKS AND PATHS	CONCRETE	360	4" CONC OVER 4" CL 2 AB	IMPERVIOUS
PARKING/DRIVEWAY	ASPHALT CONCRETE	3,570	2 1/2" AC OVER 6" CL 2 AB	IMPERVIOUS
OFF-SITE IMPERVIOUS IMPROVEMENTS	CONCRETE	210	5" CONC OVER 4" CL 2 AB	IMPERVIOUS
OTHER PERVIOUS SURFACE	DECOMPOSED GRANITE	0	N/A	PERVIOUS
	PLANTING	0	N/A	PERVIOUS
	LAWN	0	N/A	PERVIOUS
	BIORETENTION	314	N/A	PERVIOUS
TOTAL		8,089		

TOTAL NEW/RECONSTRUCTED IMPERVIOUS AREA: 7,675 SF (0.18 AC)
 TOTAL DISTURBED SOIL AREA: ~9,000 SF (0.21 AC)



HARDSCAPE PLAN

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**CIVIL IMPROVEMENT PLANS
HARDSCAPE PLAN**

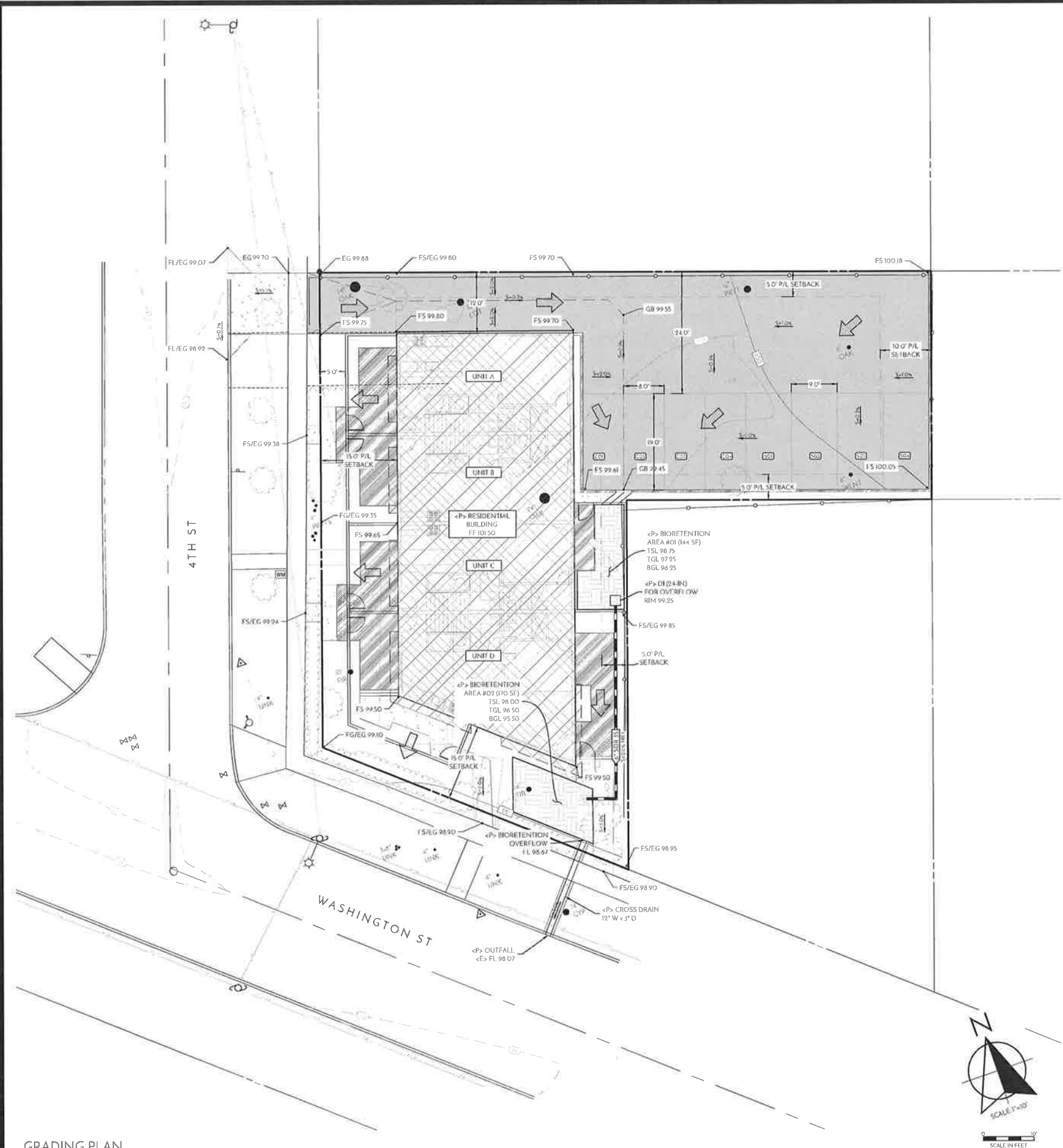
MULTI-FAMILY HOUSING
 1514 WASHINGTON ST
 CALISTOGA, CA 94515
 APN: 011-202-011
 PROJECT: 18-024



DATE: 04/27/18
 ISSUE: DESIGN REVIEW

SHEET

DR2.0



GRADING PLAN

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CIVIL IMPROVEMENT PLANS
GRADING PLAN

MULTI-FAMILY HOUSING
1514 WASHINGTON ST
CALISTOGA, CA 94515
APN: 011-202-011
PROJECT: 18-024



DATE: 04/27/18
ISSUE: DESIGN REVIEW

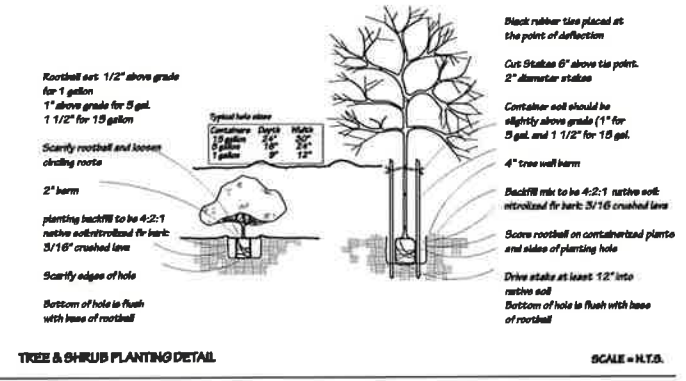
DR2.1



KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS	WUCOLS
TREES						
COR	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	5	15 gallon	Ca Native, Bark	M
	Maytenus boaria 'Green Showers' or	Green Showers Mayten or		15 gallon	Ca Native, Bark	M
	Arbutus 'Marina'	Madrone Crose		15 gallon	Ca Native, Bark	L
TALL SHRUBS						
BAK	Bambusa multiplex 'Alphonse Karr'	Clumping Bamboo	3	15 gallon	Foliage	L
PMC	Pittosporum 'Marjorie Channon' or	Marjorie Shannon Kohuhu or	8	5 gallon	Foliage	M
	Prunus caroliniana 'Compacta'	Carolina Cherry		5 gallon	Foliage	L
SHRUBS						
LES	Loropetalum chinensis 'Emerald Snow'	Emerald Snow Chinese Fringe-flower	15	5 gallon	Flowers	L
LSP	Loropetalum chinensis 'Sizzling Pink'	Sizzling Pink Chinese Fringe-flower	6	5 gallon	Flowers	L
NAN	Nandina domestica 'Plum Passion' or	Plum Passion Heavenly Bamboo	18	5 gallon	Foliage	L
	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo		5 gallon	Foliage	L
VINES/SPALIERS						
CA	Clematis 'Armandii'	Evergreen Clematis	2	5 gallon	Flowers	M
ESP	Loropetalum chinensis 'Eapaller' or	Chinese Fringe Flower or	6	5 gallon	Flowers	L
	Malus '3 Tier' 'Assorted'	Apple 'Fuji, Yellow Delicious'			Fruit	M
JAS	Jaeminum polyanthum	Pink Jasmine	3	5 gallon	Fragrant	M
LGF	Loelcera heckrottii 'Goldflame'	Goldflame Honey-suckle	5	5 gallon	Flowers	M
GROUNDCOVERS/PERENNIALS						
ID	Iris douglasiana 'Canyon Snow' or	White Douglas Iris or	45	1 gallon	30" OC-Flowers	L
	Heuchera 'Palace Purple', 'Lava Lamp'	Burgundy Alum Root		1 gallon	30" OC-Foliage	L
	Geranium blocova	Cranebill	50	1 gallon	24" OC-Flowers	M
GRASSES/FERNS						
CHO	Chloropetalum tectonum	Small Cape Rush	6	5 gallon	Accent, Foliage	L
CTU	Carex tumulicola	Berkeley Sedge	70	1 gallon	36" OC-Native	L
LOM	Lomandra longifolia 'Breeze'	Dwarf Matt Rush	150	1 gallon	36" OC	L
MOR	Moraea iridoides	Fortnight Lily	20	1 gallon	Accent	L
MT	Miscanthus transmontanus	Evergreen Miscanthus	7	1 gallon	Accent	M
NO-MOW	'Native Mow-Free' Seed Blend	Delta Bluegrass Biofiltration Seed	350	SF	Bioretention Area	L
PT	Phormium 'Amazing Red' or	Red New Zealand Flax or	8	5 gallon	Accent	L
	Acacia cognata 'Cousin Itt'	Cousin Itt Little River Wattle		5 gallon	Foliage	L

PLANTING NOTES

- Existing trees and shrubs to be removed. All proposed planting areas shall be cleared of any weeds and debris prior to soil preparation. In the case of pernicious perennial weeds, a systemic herbicide shall be applied prior to clearing. If particularly difficult weeds, such as wild onion, are encountered, the Landscape Architect and owner shall be contacted prior to proceeding. No soil preparation shall take place in areas where soil is contaminated with cement, plaster, paint or other construction debris. All contaminated soil shall be removed and replaced with a friable sandy loam capable of sustaining healthy plant life and containing no noxious weeds or debris.
- All plant material shall be approved by the Landscape Architect prior to installation and will be rejected if not in accordance with industry standards. Substitution requests to be made to the Landscape Architect for approval prior to site delivery. The plant count is for the convenience of the Landscape Contractor. In case of a discrepancy with the plan, the plant count shall govern.
- Incorporate compost or natural fertilizer into the soil to a minimum depth of 6" at a minimum rate of 4 cubic yards per 1000 square feet or per specific amendment recommendations from a soils laboratory report. A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
- Plant Material shall have the following backfill mix: 30% native soil, 10% 3/16" Lava rock, 60% coarse fir bark or 60% native soil and 40% recycled screened compost or per soil test recommendations. Holes to be 2 x the diameter x the depth of the plant container. See tree and shrub planting details for additional information.
- Prior to planting, the final location of all plant material to be determined in the field by the Landscape Architect. The Landscape Contractor shall give three (3) days written notice prior to planting placement date. All plant material shall be approved by the Landscape Architect prior to installation and will be rejected if not in accordance with industry standards. Substitution requests to be made to the Landscape Architect for approval prior to site delivery.
- Planting areas shall receive a 3" layer of "Golden Nuggets" by American Soil Products or recycled "arbor" mulch. Mulch to be spread after container planting. The landscape contractor shall provide a bark sample to the Landscape Architect prior to shipping to site.
- The Landscape Contractor shall guarantee all new plantings for a duration of six months. The guarantee period shall begin after the Final Inspection and approval. A 60 day establishment maintenance to be provided upon final approval of landscape installation.
- Provide an automatically actuated irrigation system for complete coverage. Shrubs & Trees to be irrigated with 1 GPH Pressure compensating drip emitters: 1/1" gallon, 2/15 gallon, 4/15 gallon or Netalim .6 or .9 GPH inline emitters. Bioretention turf to be irrigated with MP rotators. Controller to be a Smart controller with Rain Sensor & ETA component.
- Planting operations shall conform to the City of Calistoga Water Efficient Landscape Guidelines, WELD, MAWA and WUCOLS IV.



TREE & SHRUB PLANTING DETAIL SCALE = N.T.S.



PLANTING PLAN

Multi Family Residential
1514 Washington Street, Calistoga, California

Revisions
Date: 4-30-2018
Drawn By: LC
Job: 1514WA
Sheet
L2.0
of 4 sheets



ARBUTUS 'MARINA'



MAYTENUS BOARIA 'GREEN SHOWERS'



CORNUS 'EDDIE'S WHITE WONDER'



PRUNUS CAROLINIANA 'COMPACTA'



PITTOSPORUM 'MARJORIE CHANNON'



BAMBUSA MULTIFLORA 'ALPHONSE KARR'



ESPALIERED APPLE

TREES

LARGE SHRUBS



LOROPETALUM CHINENSIS 'SIZZLING PINK'



LOROPETALUM 'CHANG-WHITE'



NANDINA DOMESTICA 'GULFSTREAM'



ACACIA COGNATA 'COUBIN ITT'



PHORMIUM 'AMAZING RED'

MEDIUM SHRUBS



MISCANTHUS TRANSMOROSONENSIS



CHONDROPETALUM TECTORUM



LOMANDRA LONGIFOLIA 'BREEZE'



IRIS



CAREX TUMULICOLA



IRIS DOUGLASIANA 'CANYON SNOW'

ACCENTS & GRASSES



HEUCHERA 'PALACE PURPLE'



GERANIUM BICOLORE



CISTUS SALVIFOLIUS



LONGICERA HECKEROTTII



CLEMATIS ARMANDI



JASMIMUM POLYANTHUM



NO-MOW BIORETENTION PESCUE TURF

PERENNIALS & GROUNDCOVERS

VINES

BIOSWALE



Expiration 3/31/2018

PLANTING PALETTE

Multi Family Apartments

Revisions

Date: 4-27-2018

Drawn By: LC

Job: 1514WA

Sheet

L2.1

of sheets

