



City of Calistoga  
Planning Commission  
**Agenda Item Summary**

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<b>MEETING DATE</b>	July 11, 2018
<b>ITEM</b>	<b>1514 Washington Street Multi-Family Project DR 2018-4</b>
<b>APPLICANTS</b>	Dimitry Latkionav and Alla Reykhel
<b>PROPERTY ADDRESS</b>	1514 Washington Street
<b>ASSESSOR'S PARCEL NO.</b>	011-202-001
<b>GENERAL PLAN DESIGNATION</b>	High-Density Residential/Office
<b>ZONING DISTRICT</b>	Multi-Family Residential/Office (R-3)
<b>STAFF CONTACT</b>	Kevin Thompson, Senior Planner
<b>POTENTIAL CONFLICTS OF INTEREST</b>	None
<b>RECOMMENDATION</b>	Adopt a resolution approving Design Review 2018-4 with conditions
<b>SUGGESTED MOTION</b>	"I move that the Planning Commission adopt a resolution approving design review application DR 2018-4 to allow construction of a 4-unit multi-family building at 1514 Washington Street"

**CALISTOGA PLANNING COMMISSION  
STAFF REPORT**

**To:** Calistoga Planning Commission  
**From:** Kevin Thompson, Senior Planner  
**Meeting Date:** July 11, 2018  
**Subject:** 1514 Washington Multi-Family Development Design Review

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**ITEM**

1 Consideration of a design review application (DR 2018-4) for a four-unit multi-family  
2 building and site improvements at 1514 Washington Street

3 **BACKGROUND**

4 The vacant project site at 1514 Washington Street is .21 acres (9,203 sq ft.). Uses in  
5 the vicinity include hospitality, religious institutions, and both single and multi-family  
6 residential. The site contained a single-family home that was demolished to  
7 accommodate the current proposal. The 2014 Housing Element's Housing Stock  
8 Conditions Survey identified the demolished home as one in need of repair.

9 Four trees of varying health whose removal was approved with the issuance of a tree  
10 removal permit remain on site. Mitigation in the form of payment to the City's tree  
11 mitigation fund was required for their removal.

12 **PROJECT DESCRIPTION**

13 The project proposes the construction of four market-rate multi-family apartments all  
14 contained in one two-story building. The building would front both 4th and Washington  
15 Streets, with a maximum height of 24 feet. Amenities would include large sized units,  
16 private open space and off street parking for each unit. Parking includes 8 spaces on  
17 the rear portion of the site. The site would be accessed via a single 12-foot wide  
18 driveway from 4th Street.

19 The proposed unit breakdown is as follows:

- 20 Unit A - 4 bedroom, 2.5 bath, 1,964 sq. ft.
- 21 Unit B - 3 bedroom, 2.5 bath, 1,256 sq. ft.
- 22 Unit C - 2 or 3 bedroom, 2.5 bath, 1,192 sq. ft.
- 23 Unit D - 2 or 3 bedroom, 2.5 bath, 1,496 sq. ft.

24 Proposed exterior finishes include board and batten HardiePanel siding with a 42" stone  
25 masonry perimeter at the base of the building and a standing seam aluminum roof.  
26 Wood timber accents would project outward from under the roof eaves along all facades  
27 of the building. Additional wood timber features are proposed for the gable end of the  
28 dormers, above the windows, and along the Washington Street façade. The proposed  
29 color palette includes brown and forest green for the building and a bronze roof. The  
30 windows would be double-hung black aluminum.

31 Each unit would have a private open space area enclosed with six-foot high, horizontal  
32 slat fencing, which would also screen disposal bins. Units B, C and D would also have  
33 enclosed private open space areas at the rear of the building.

34 The project's preliminary landscape plan calls for five new street trees. However, staff  
35 recommends retaining the three existing street trees (two on Washington, one on  
36 Fourth), which appear to be in good health, and plant supplemental trees. The private  
37 open space areas would be planted with drought-tolerant species. Delta bluegrass, a  
38 native "mow-free" fescue, is called for in the bio-filtration areas.

### 39 **CONSISTENCY ANALYSIS**

40 The project's consistency with the City's plans, policies and codes is evaluated below.

#### 41 Calistoga General Plan

- 42 • Land use designation

43 The General Plan's Land Use Map designates the project site as High-Density  
44 Residential/Office, which allows the development of multi-family housing at densities of  
45 10-20 dwelling units per acre. The 9,203 sq ft lot could accommodate a maximum of 4.2  
46 units. The project proposes 4 units and is within the density range established in the  
47 General Plan.

- 48 • Housing Element

49 The General Plan's Housing Element provides a long-term comprehensive plan to  
50 address existing and projected housing needs for all economic segments of the  
51 community. It includes strategies for meeting the City's share of region-wide housing  
52 need for the planning period between 2015 and 2023 as required by state law.

53 The Housing Element contains many provisions intended to address the housing needs  
54 of the community, including:

55 *Goal H-1 Maximize opportunities for the development of housing to*  
56 *accommodate anticipated growth and facilitate mobility*  
57 *within the ownership and rental housing markets.*

58 *Action H-1.2 Make effective use of residential development sites.*

59 The project increases the density on an infill site located within walking distance to  
60 downtown services. Further, given the size of the units, it provides mobility to those  
61 seeking more living space in a rental home. The floorplans include three-bedroom units,  
62 which would be suitable for families.

#### 63 Zoning Code

64 The project site is located within the Multi-Family Residential/Office (R-3) Zoning  
65 District. The intent of this district, in part, is to increase the diversity and variety of  
66 housing stock in Calistoga by providing housing within walking distance to downtown.  
67 Uses allowed in the R-3 District without a use permit include multi-family dwellings. The

68 project is consistent with this intent by providing multi-family units in the appropriately-  
 69 zoned district.

70 The R-3 District is further intended to ensure that care is taken to preserve the character  
 71 of existing neighborhoods. The architecture in the neighborhood evolved over many  
 72 decades and lacks a common theme. Generally speaking, it is comprised of one- and  
 73 two-story, Craftsman- and bungalow-style homes. However, directly across Washington  
 74 Street is the Holy Assumption Monastery, which is characterized by Russian-style  
 75 design elements.

76 The project’s facades that would face Washington and 4th Streets would feature a two-  
 77 story element, consistent with the neighborhood’s character. The HardiePanel board  
 78 and batten siding that would clad a majority of the facades would be painted earth-toned  
 79 forest green and brown. These materials would provide a muted appearance, blending  
 80 in with the surrounding mature landscaping. The proposed building height is similar to  
 81 other buildings in the neighborhood.

82 The following table compares the project’s design with the development standards of  
 83 the R-3 District.

Development Standard per Zoning Code (R-3 District)		Project	Compliant
Minimum front yard	15 feet	15 feet	Yes
Minimum interior side yard adjacent to building	12 feet	12 feet	Yes
Minimum rear yard	15 feet	26+	Yes
Maximum lot coverage	40%	40%	Yes
Maximum building height	25 feet	24 feet	Yes
Minimum usable open space	300 sq. ft. group OS/unit or 150 sq. ft. private OS/unit	163-278 sq. ft.	Yes

84 Residential Design Guidelines

85 Staff believes that the project is consistent with the City’s Multi-Family Residential  
 86 Design Guidelines because of the following design features:

- 87 • A building height of 24 feet is compatible with other structures in the  
 88 neighborhood. The perceived height and bulk of the building would be reduced  
 89 by dividing the building mass into smaller-scale components and incorporating  
 90 details such as projecting eaves, awnings, moldings and fencing in a manner that  
 91 is consistent with the building’s architecture.
- 92 • Setbacks are similar to those on the block and in the neighborhood. A 12-foot  
 93 setback would be provided along the property line adjacent to the single-family  
 94 dwelling to the north.
- 95 • Traditional gable roof forms would be consistent with neighborhood character.
- 96 • Roof overhangs would be appropriately-sized to the mass and design of the  
 97 building.

- 98 • Window types, materials, shapes, and proportions would complement the  
99 architectural style of the building, and windows would be articulated with trim and  
100 awnings.
- 101 • Materials, colors, and landscaping would be consistent with the desired  
102 architectural style and sensitive to the neighborhood. Compatible accent colors  
103 would enhance important architectural elements and details.
- 104 • The main entrance to each unit would be clearly identifiable and articulated with  
105 functionally- and architecturally-appropriate projecting or recessed forms so as to  
106 create a sheltered landing.
- 107 • The parking area would be located within the project’s interior and not along its  
108 street frontage.
- 109 • The width of the driveway and its curb cut would be as narrow as possible.
- 110 • A variety of height, textures, and colors would be used in the project’s landscape  
111 palette, and plantings would be used to soften building lines.
- 112 • Trees would be used to create shade along sidewalks, continuing the theme of  
113 the neighborhood.
- 114 • Attractive fencing would allow public views into the site while providing security.
- 115 • No mechanical equipment or trash enclosures would be viewable from  
116 residences or the street.

117 **GROWTH MANAGEMENT**

118 The project would connect to public water and sewer. Estimated annual water demand  
119 and wastewater generation for this project must be completed by the applicant before  
120 building permit issuance. A Growth Management Allocation must be awarded for the  
121 project prior to building permit issuance, and the developer would be required to pay  
122 water and wastewater service connection fees.

123 **ENVIRONMENTAL REVIEW**

124 The proposed project is exempt from the requirements of the California Environmental  
125 Quality Act (CEQA) pursuant to Section 15303(b) of the CEQA Guidelines (New  
126 Construction or Conversion of Small Structures).

127 **RECOMMENDATIONS**

128 Based on the information and analysis contained in this report, staff recommends that  
129 the Planning Commission adopt a resolution approving design review application DR  
130 2018-4.

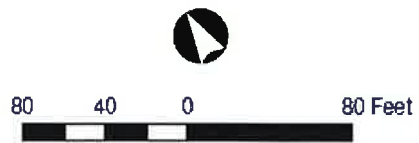
**ATTACHMENTS**

1. Vicinity map
2. Draft resolution approving design review application DR 2018-4
3. Project plans
4. Multi-Family Design Guidelines



**Vicinity Map**

1514 Washington  
APN: 011-202-011



# Multi-Family Residential Design Guidelines

## Introduction

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These guidelines seek to provide property owners, designers and developers with a clear understanding of the City's expectations for new multi-family residential development (i.e., a building containing three or more dwelling units). They will be used as criteria for approval during the City's plan review process.

While development must comply with the Calistoga Zoning and Subdivision Codes and other applicable regulations, these guidelines seek a higher degree of design excellence than the minimum standards.

Development on properties within an Entry Corridor or Character Area designated by the Land Use Element of the Calistoga General Plan must incorporate the design features prescribed by those overlays.

## Design Objectives

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These guidelines are intended to promote development that will:

- Provide attractive, functional and convenient site arrangements
- Enhance safety and security
- Protect and promote Calistoga's rural, small town character
- Create a human-scaled and pedestrian-friendly environment
- Encourage visual diversity while protecting the unique and desirable qualities of established neighborhoods
- Promote high-quality design that enhances the character of Calistoga and is compatible with its environs
- Allow creative design, in keeping with the eclectic nature of residential development in Calistoga

- Safeguard the privacy of neighboring properties

## Design Guidelines

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### A. Siting

1. Views (particularly of the palisades and hillsides), and on-site mature trees and other natural amenities shall be preserved and incorporated into development proposals whenever possible.
2. Buildings should be oriented to promote privacy to the greatest extent possible.
3. Large projects should be broken up into clusters of structures.
4. Parking and vehicular circulation should be separate from pedestrian circulation.

### B. Building Forms and Massing

1. The scale and mass of new infill buildings should be reduced by stepping down the building height towards adjacent smaller structures.
2. Building heights should be varied to give the appearance of a collection of smaller structures.
3. Consideration should be given to stepping back upper stories to reduce the scale of facades that face a street, common space and adjacent residential structures.
4. The perceived height and bulk of multi-story buildings should be reduced by dividing the building mass into smaller-scale components and adding details such as projecting eaves, dormers and balconies. The use of awnings, moldings, pilasters and comparable architectural embellishments are also encouraged when functional

and/or consistent with the building's architecture.

### **C. Building Articulation**

1. Buildings that are oriented to a street or interior drive should have varying setbacks to provide visual interest.
2. All facades of a building should be articulated and incorporate variation in massing, roof forms and wall planes, as well as surface articulation. While they do not need to be identical, there should be a sense of overall architectural continuity.
3. Extensive, unarticulated exterior walls are discouraged. Massing offsets, varied textures, openings, recesses and design accents are encouraged to provide visual interest.
4. Architectural elements that add visual interest, scale and character, such as balconies, trellises, recessed windows, overhangs and porches are strongly encouraged.
5. Balconies should be recessed from the building face and use appropriate screening measures, such as solid walls or landscaping, to protect the privacy of users and residents of neighboring units. The supports for overhanging upper floors or decks shall be designed to provide a substantial appearance integrated with the overall design of the building.
6. The use of vertical elements such as towers may be used to contrast with the predominant horizontal massing and provide visual interest.
7. The design of an infill project in a potential historic district, as identified in the General Plan, should be compatible with any prevailing architectural styles and details in the neighborhood.

8. Accessory buildings, such as management offices, storage facilities, recreational facilities and pool equipment buildings shall be designed as an integral part of a project. They shall be similar in material, color, and detail to the principal buildings of a development.

### **D. Roofs**

The use of multiple rooflines and designs can create visual diversity and break up building mass.

1. The use of traditional roof forms such as gables, hips and dormers is encouraged. The use of mansard and flat roofs without a decorative cornice are strongly discouraged.
2. Variation in ridgeline height and alignment is encouraged.
3. Roof overhangs should be sized appropriately for the desired architectural style. Where applicable to the architectural style, roof eaves should extend a minimum of 12 inches from the primary wall surface to enhance shadow lines and articulation of surfaces.
4. Flat carport roofs are prohibited.

### **E. Windows, Doors and Entries**

The appearance of a building can be enhanced by carefully-designed windows, doors and entries.

1. Window types, materials, shapes and proportions should complement the architectural style of the building.
2. Windows should be articulated with sills, trim, shutters or awnings that are authentic to the architectural style of the structure. Where architecturally appropriate, they may be inset from structure walls to create shade and shadow detail.



3. In order to enhance privacy, windows shall not be positioned directly opposite an adjacent residence's windows.
4. The main entrance to a unit should be clearly identifiable and should be articulated with functionally- and architecturally-appropriate projecting or recessed forms so as to create a sheltered landing.
5. Entries should be in proportion to the building façade as a whole.

**F. Building Materials, Finishes and Colors**

1. Materials, finishes and colors should be consistent with the desired architectural style and sensitive to any prevailing pattern in the vicinity.
2. Compatible accent colors should be used to enhance important architectural elements and details.
3. Bright or intense colors should be used very sparingly, and shall typically be reserved for more refined or delicate detailing.
4. Exterior materials should reflect those that have traditionally been used in Calistoga, including wood, stone and stucco. Reflective materials are prohibited.
5. Stairways shall be constructed of durable materials that are compatible with the design of the primary structure. Prefabricated metal stairs are strongly discouraged.
6. Surface detailing should not serve as a substitute for well-integrated and distinctive massing.

**G. Circulation**

1. Multi-family projects should incorporate pedestrian connections to adjoining residential, commercial, public and other compatible land use facilities.

2. Cross circulation between vehicles and pedestrians shall be minimized. Clearly-marked walkways should be provided from parking areas to the main entrances of buildings.
3. Walkways should be located to minimize the impact of pedestrians on the privacy of nearby residences or private open space. Walkways should not be sited immediately adjacent to a building and should be separated with a landscaped planting area.

**H. Parking**

1. Parking areas should be located within a project's interior and not along street frontages.
2. Carports and tuck-under parking should not be visible from public streets.
3. Guest parking may be visible from public streets.
4. Garage doors should be articulated with trellises, panels and/or windows to break up their large planes.
5. The width of driveways as well as cuts at the curb shall be as narrow as possible.

**I. Landscaping**

Landscaping for multi-family projects can be used to define and accent specific areas (e.g., building entrances, recreational areas), provide a transitional buffer between neighboring properties and screen utilities. Landscaping should be used as a unifying element within a project and to ensure compatibility with surrounding projects.

1. A variety of height, textures and colors should be used in a project's landscape palette.
2. A combination of trees, shrubs and ground cover should be incorporated into landscaping plans.

3. Plantings shall be used to soften building lines. Landscaping around building perimeters is encouraged.
4. New and rehabilitated landscaping shall comply with the State of California Model Water-Efficient Ordinance, where applicable.
5. Plantings shall not interfere with lighting, clear line of sight or access to emergency equipment or utilities (e.g., fire hydrants, fire alarm boxes, water meters).
6. Landscaping shall be protected from vehicular and pedestrian encroachment by raised planting surfaces and curbs.
7. Gravel, bark and artificial turf is not allowed as a substitute for plant materials.
8. Trees should be used to create canopies and shade, especially along walkways, in parking areas and open space areas.
9. Trees and large shrubs shall not be planted under overhead lines or over underground infrastructure if growth may interfere with public utilities.
10. When selecting tree species, consideration should be given to potential maintenance issues, nearby pedestrian activities and public rights-of way.
11. Trees and shrubs should be located and spaced to allow for mature and long-term growth.
12. Potential root problems caused by trees and shrubs in or adjacent to the public right of way shall be avoided by careful selection and planting procedures. Root barriers shall be required for any tree placed where roots could disrupt adjacent paving or curb surfaces.

#### **J. Community Facilities**

1. Buildings should be oriented to create courtyards and open space areas.
2. Community features such as plazas, recreational areas, community gardens and other gathering places shall be included whenever possible.
3. Common open space areas should be sheltered from the noise and traffic of adjacent streets and incompatible uses.
4. Children's play areas should be as publicly visible as possible.

#### **K. Lighting**

Properly-designed lighting can enhance a project's design while promoting safety and security.

1. The design of exterior lighting fixtures should complement that of the residences in style and finish.
2. Lighting shall be arranged to provide safety and security for residents and visitors but prevent direct glare of illumination onto adjacent units.
3. Pedestrian-scaled lighting shall be located along all pedestrian routes of travel.
4. Lighting sources shall be screened from off-site view.
5. Lighting levels shall be the minimum necessary to provide safety and security while avoiding glare, light trespass and "sky glow."

#### **L. Walls and Fences**

Walls and fences shall be designed as an integral component of the project, using complementary styles, materials, colors and scale.

1. Walls should be constructed of natural materials such as stone, wood, flagstone, or masonry with an architectural finish.
2. The following fencing materials are not allowed: chain link, barbed wire, razor wire and unfinished precision masonry block.
3. Vinyl and other manufactured fencing materials are acceptable if the overall appearance appears natural.
4. Wrought iron fencing should be powder-coated to reduce the potential for rust.
5. The face of retaining walls that are more than four feet in height and visible to the general public should be textured to provide visual relief.
6. Walls visible to the general public, such as project perimeter walls, should be enhanced to provide visual relief and soften their appearance through techniques such as textures, staggered setbacks, wall inserts, decorative columns or pilasters and variation in height, in conjunction with landscaping.
7. Stucco and plaster walls should be capped with a different material to give them a finished appearance.
8. Walls should be constructed as low as possible while still performing screening, noise attenuation and security functions.
9. At street or driveway corners, the area in front of fencing should be landscaped, and plantings or walls shall allow a clear line of sight.
10. Walls on sloping terrain should be stepped to follow the terrain.

#### **M. Utilities**

All mechanical equipment shall be suitably screened or placed in locations that are not viewable from residences, common areas or the street. All screening devices shall be compatible

with the architecture and color of the adjacent buildings.

#### **N. Trash Enclosures**

1. Trash enclosures should be located in non-conspicuous areas, well screened with landscaping, and designed so as to protect adjacent uses from noise and odors.
2. Trash enclosures shall be constructed of materials and finishes that complement those of the primary building. Gates shall be solid metal.
3. Trash enclosures shall be sized to accommodate recycling, yard waste and trash containers.

#### **O. Mailboxes**

1. Mailboxes shall be located in highly visible, heavily-traveled areas for convenience, to allow for casual social interaction and to promote safety.
2. Trash and recycling receptacles shall be provided adjacent to the mailboxes.

**GENERAL CONDITIONS**

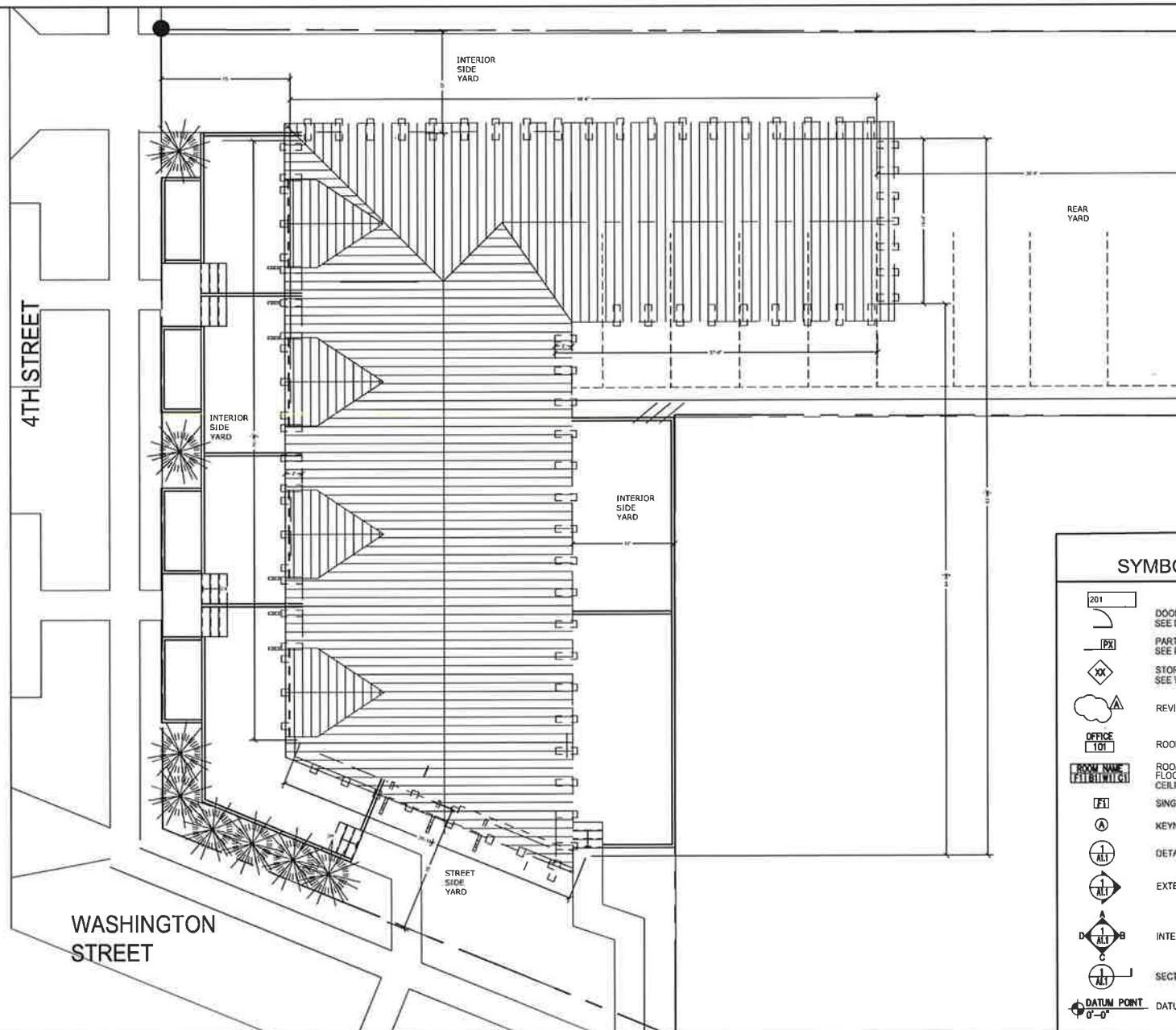
GENERAL CONDITIONS:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ON SITE TO ARRANGE JOB SCHEDULING WITH THE OWNER'S REPRESENTATIVE, ARCHITECT AND CLIENT.
2. THE CONTRACTOR SHALL SCHEDULE WORK AND COORDINATE WITH THOSE DOING OTHER WORK TO AVOID DELAYS, INTERFERENCE AND UNNECESSARY WORK.
3. THE CONTRACTOR SHALL MAKE NECESSARY CHANGES, INCLUDING REMOVAL & REINSTALLATION OF MATERIALS AT HIS SOLE EXPENSE, IF HE FAILS TO CHECK WITH THOSE DOING OTHER WORK AND HIS INSTALLED WORK IS LATER FOUND TO INTERFERE WITH SUCH WORK.
4. WHERE WORK OF ONE TRADE JOINS, OR IS ON OTHER WORK, THERE SHALL BE NO DISCREPANCY WHEN SAME IS COMPLETED, IN ENGAGING ONE KIND OF WORK WITH ANOTHER, MARRING OR DAMAGING SAME WILL NOT BE PERMITTED. SHOULD IMPROPER WORK OF ANY TRADE BE COVERED BY ANOTHER WHICH RESULTS IN DAMAGE OR DEFECTS, THE WHOLE WORK AFFECTED SHALL BE MADE GOOD BY THE CONTRACTOR WITHOUT EXPENSE OR DELAY TO THE PROJECT OR PROJECT SCHEDULE.
5. THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON DRAWINGS PROVIDED BY THE OWNER ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
6. THE CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA BY CONSTRUCTION OF DUST BARRIERS AS MAY BE REQUIRED BY THE SCOPE OF WORK.
7. THE CONTRACTOR SHALL PATCH & REPAIR ALL FIRE PROOFING DAMAGE INCURRED DURING CONSTRUCTION. THE CONTRACTOR SHALL FIREPROOF ALL PENETRATIONS THROUGH RATED ASSEMBLIES GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
8. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE BUILDING BEFORE ORDERING MATERIAL OR DOING ANY WORK. IF ANY INCONSISTENCIES OCCUR, THE CONTRACTOR SHALL REPORT, TO THE ARCHITECT, ANY INCONSISTENCIES OR ERRORS IN WORK OF OTHERS, AFFECTING THE COMPLETION OF HIS WORK. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK, FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED & CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE PARTITION LAYOUT IS ACCURATE. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM TO THE ARCHITECT & OBTAIN CLARIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED AND CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
10. CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.
11. **DO NOT SCALE DRAWINGS.** WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.

SUBSTITUTIONS

1. FOR PRODUCTS INDICATED OR SPECIFIED ONLY BY REFERENCE STANDARD, SELECT ANY PRODUCT MEETING SUCH STANDARD.
2. FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING SEVERAL PRODUCTS OR MANUFACTURERS, SELECT ANY ONE OF THE PRODUCTS OR MANUFACTURERS NAMED WHICH COMPLIES WITH THE SPECIFIED REQUIREMENTS AND SUBMIT A REQUEST FOR SUBSTITUTION IN THE SAME MANNER AS FOR SUBSTITUTIONS FOR A PRODUCT OR MANUFACTURER NOT SPECIFICALLY NAMED.
3. FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING ONE MANUFACTURER, FOLLOWED BY THE WORDS "OR APPROVED EQUAL", SUBMIT A REQUEST FOR REVIEW OF A SUBSTITUTION FOR A PRODUCT OR MANUFACTURER NOT SPECIFICALLY NAMED.
4. FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING ONLY ONE PRODUCT AND MANUFACTURER, THERE IS NO SUBSTITUTION.

**SITE AND ROOF PLAN 1/8"=1'-0"**



**VICINITY (CALISTOGA ZONING) DRAWING INDEX**

ARCHITECTURAL

- A0.0 COVER SHEET AND SITE PLAN
- A0.2 RENDERINGS
- A2.1 FIRST LEVEL FLOOR PLAN
- A2.2 SECOND LEVEL FLOOR PLAN
- A3.1 ELEVATIONS

CIVIL

- DR.1 COVER SHEET
- DR.2 HARDSCAPE PLAN
- DR.3 GRADING PLAN

LANDSCAPE

- L1.0 LAYOUT
- L2.0 PLANTING
- L2.1 PLANTING PALLETTE
- L3.0 IRRIGATION
- L3.1 IRRIGATION DETAILS

NOTE: THIS IS A NEW 4 UNIT MULTI-FAMILY DWELLING OF 5680 SF, 3187 SQUARE FEET SECOND FLOOR (40% OF LOT AREA OF 9032 SF) AND 2493 FIRST FLOOR

**SYMBOL LEGEND**

- 201 DOOR SYMBOL SEE DOOR SCHEDULE A2.5
- IPX PARTITION TYPE SEE PARTITION SCHEDULE A9.1
- XX STOREFRONT OR WINDOW SEE WINDOW SCHEDULE A2.5
- REVISION CLOUD AND NUMBER
- OFFICE 101 ROOM NAME & NUMBER
- ROOM NAME (FIT/IT/IT/IT/IT) ROOM FINISH TAG FLOOR, BASE, WALL, & CEILING FINISH CODES
- FI SINGLE FINISH TAG
- A KEYNOTE SYMBOL
- 1/11/11 DETAIL BUBBLE
- 1/11/11 EXTERIOR ELEVATION TAG
- 1/11/11 INTERIOR ELEVATION TAG
- 1/11/11 SECTION TAG
- DATUM POINT 0'-0"

NOTE: ALL ROOFING TO BE INSTALLED BY LICENSED/CERTIFIED ROOFING SUBCONTRACTOR ANY AND ALL PROBLEMS/QUESTIONS AND DISCREPANCIES ASSOCIATED WITH ROOFING TO BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR AND ARCHITECT AND TO BE RESOLVED BY A LICENSED/CERTIFIED ROOFING SUBCONTRACTOR

**PLANNING APPLICATION**

SCOPE OF WORK:

THESE DRAWINGS DESCRIBE A NEW 4 UNIT MULTI-FAMILY DWELLING OF 5680 SF, 3187 SQUARE FEET SECOND FLOOR (40% OF LOT AREA OF 9032 SF) AND 2493 FIRST FLOOR IN CALISTOGA CALIFORNIA ON A LOT OWNED BY ALLA REYKHEL AND DIMITRIY LAKTIONOV, THIS SET CONTAINS ARCHITECTURAL PLANS AS PART OF THIS PLANNING APPLICATION.

**APPLICABLE BUILDING CODES**

THE FOLLOWING CODES, AS AMENDED BY THE CITY OF CALISTOGA, ARE APPLICABLE TO THIS PROJECT:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2016 CALIFORNIA RESIDENTIAL CODE AND THE 2013 CALIFORNIA GREEN BUILDING CODE

**PROJECT TEAM**

<u>PROPERTY OWNER</u>	<u>ARCHITECT</u>
DIMITRIY LAKTIONOV 1514 WASHINGTON STREET CALISTOGA, CA 94515 TEL. TEL. (415)846-1353	DAVID KESLER ARCHITECT 4739 25th Street SF CA 94114 510 710 7910 DAVIDKESLER@YAHOO.COM

**SQUARE FOOTAGE SUMMARY**

	PROPOSED	TOTAL 1ST FLOOR
GROUND LEVEL	2493 SF	
SECOND LEVEL	3187 SF	
	5680 SF	
FOOTPRINT	3187SF	
	40%	

**ZONING CODE INFORMATION-R-3 MULTI-FAMILY RESIDENTIAL/OFFICE ZONING DISTRICT**

APN #:	11-202-011-000
BUILDING TYPE: ZONING DISTRICT:	VB R-3 MULTI FAMILY RESIDENTIAL
MINIMUM	PROPOSED
INTERIOR SIDE YARD SETBACK: 11'-6"	12' & 12'-6"
REAR YARD SETBACK: 15'	26'-11"
FRONT YARD SETBACK: 15'	15'
STREET SIDE YARD SETBACK: 15'	15'
MAX. HEIGHT: 25' TO MIDPOINT ROOF	24' PROPOSED
MAX. STORIES:	2 PROPOSED
LOT SIZE:	9203 SF
TOTAL SQUARE FOOTAGE:	5680 SF (EXTERIOR) (2493 SF FIRST FL. + 3187 2ND FL.)
LOT COVERAGE:	40% MAXIMUM: 40% PROVIDED
UNITS: 4	4- PROPOSED
MINIMUM PARKING: 2/UNIT	2/UNIT PROPOSED



1514 WASHINGTON



**DAVID KESLER**  
ARCHITECT

4739 25th STREET

SAN FRANCISCO CA  
TEL 510.710.7910

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NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.09.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY  
RESIDENCE  
1514 WASHINGTON  
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:

STRUCTURAL ENGINEER

TBD

SHEET DESCRIPTION:

**COVER SHEET & SITE PLAN**

JOB NUMBER: 1514 WASHINGTON

SCALE: AS NOTED

DATE: 022218

DRAWN BY: DAK

CHECKED BY: DAK

CAD TITLE: 1514 WASHINGTON

SHEET NUMBER:

**A0.0**

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NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.09.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY  
RESIDENCE  
1514 WASHINGTON  
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:

STRUCTURAL ENGINEER

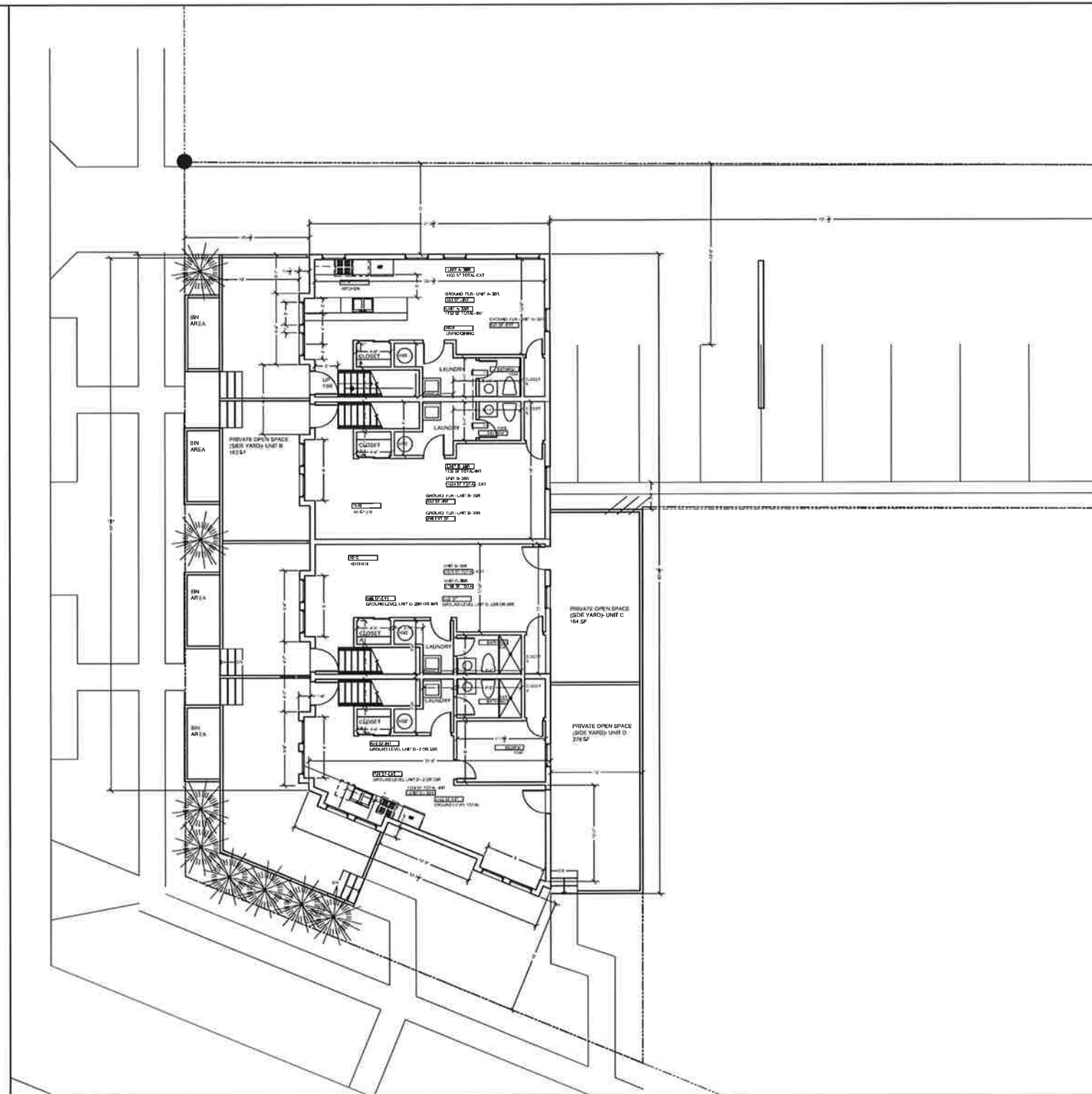
TBD

SHEET DESCRIPTION:

**GROUND LEVEL  
PLANS**

JOB NUMBER: 1514W  
SCALE: AS NOTED  
DATE: 123117  
DRAWN BY: DAK  
CHECKED BY: DAK  
CAD TITLE: 1514W - A2.1  
SHEET NUMBER:

**A2.1**



**1** GROUND FLOOR PLAN  
1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.08.18	PLANNING
05	06.28.18	PLANNING

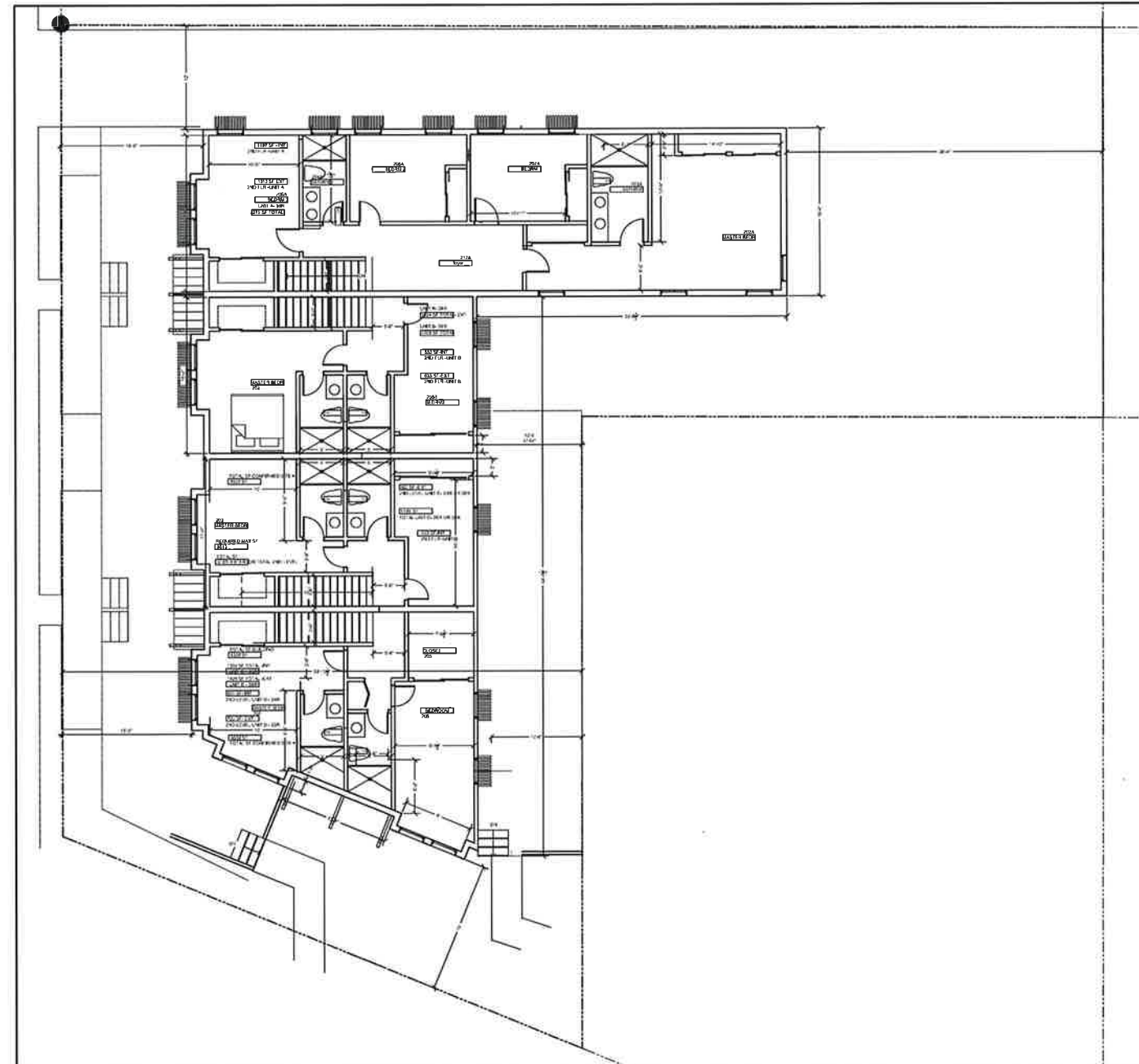
PROJECT:

MULTI-FAMILY  
RESIDENCE  
1514 WASHINGTON  
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:  
STRUCTURAL ENGINEER  
TBD



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

SHEET DESCRIPTION:  
**2ND FL  
PLANS**

JOB NUMBER: 1514W  
SCALE: AS NOTED  
DATE: 123017  
DRAWN BY: DAK  
CHECKED BY: DAK  
CAD TITLE: 1514W - A2.2  
SHEET NUMBER:

**A2.2**

DOCUMENTS ARE THE PROPERTY OF DAVID KESLER ARCHITECT AND MAY NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT

NO.	DATE	DESCRIPTION
01	12.31.17	PLANNING
02	04.03.18	PLANNING
03	05.23.18	PLANNING
04	06.09.18	PLANNING
05	06.28.18	PLANNING

PROJECT:

MULTI-FAMILY  
RESIDENCE  
1514 WASHINGTON  
CALISTOGA CA.



STATE OF CALIFORNIA

CONSULTANTS:

STRUCTURAL ENGINEER

TBD

SHEET DESCRIPTION:

**ELEVATIONS**

JOB NUMBER: 1514W

SCALE: AS NOTED

DATE: 123117

DRAWN BY: DAK

CHECKED BY: DAK

CAD TITLE: 1514W - A3.1

SHEET NUMBER:

**A3.1**

**MATERIAL NOTES:**

STANDING SEAM ALUMINUM ROOFING,  
  
HARDI-PANEL IN BROWN/GREEN TO BE APPROVED BY CALISTOGA PLANNING (VARIATIONS OF THE MONASTERY COLOR ON WASHINGTON) WITH 2.25" VERTICAL BATTEN

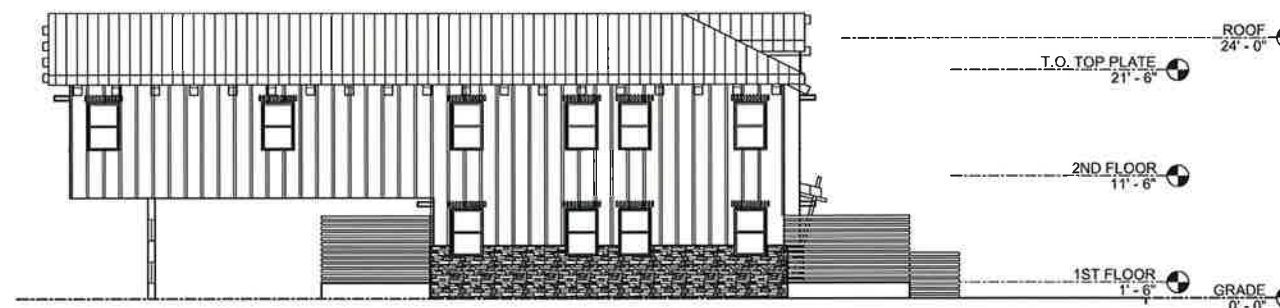
STONE BASE TILE OR A SECOND HARDI-PANEL TILE IN A BROWN VARIATION AT THE BASE-

WINDOWS ARE BLACK ALUMINUM DOUBLE HUNG

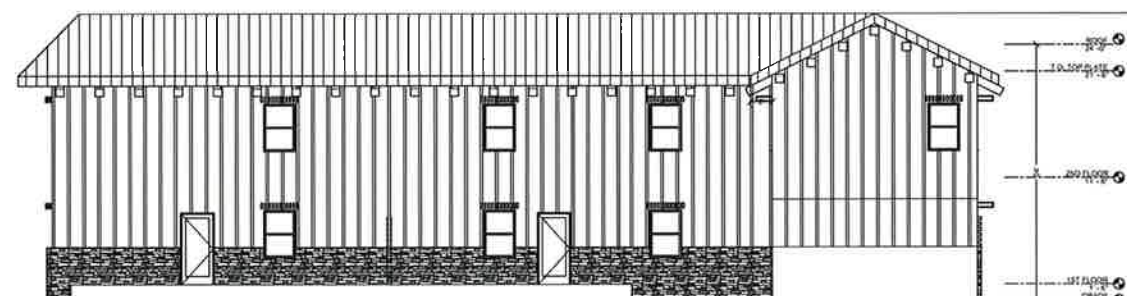
GLASS AND WOOD DOORS  
STANDING SEAM PORCH AWNINGS  
WOOD DECK- THE PROJECT USES 18" CLEARANCE CRAWL SPACE (NO SLAB-ON GRADE).



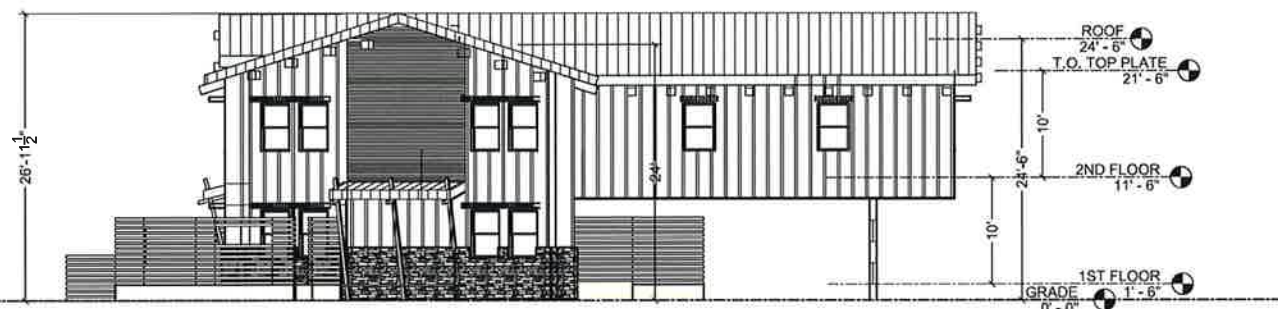
1 WEST (4TH STREET-FRONT) ELEVATION  
1/8" = 1'-0"



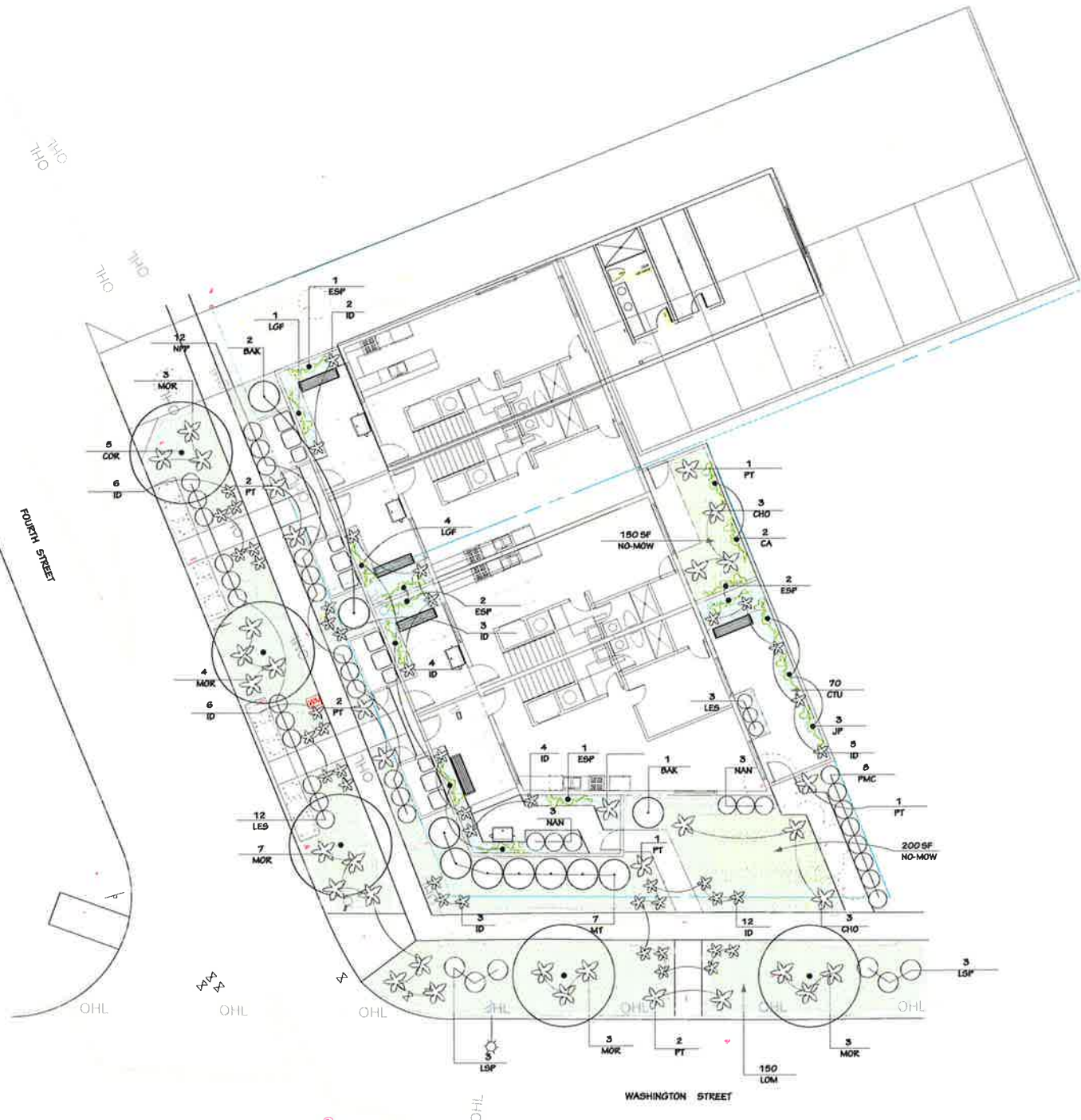
2 EAST (CAR ENTRY) ELEVATION  
1/8" = 1'-0"



3 EAST (REAR) ELEVATION  
1/8" = 1'-0"



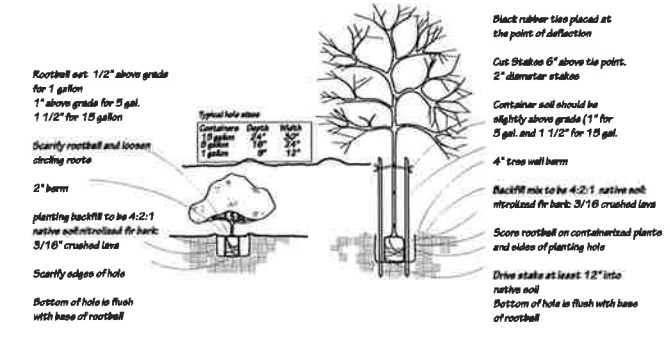
4 SOUTH (WASHINGTON STREET - SIDE) ELEVATION  
1/8" = 1'-0"



1514 WASHINGTON APARTMENTS PLANTING LEGEND						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS	WUCOLS
<b>TREES</b>						
COR	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	5	15 gallon	Ca Native, Bark	M
	Maytenus boaria 'Green Showers' or Arbutus 'Marina'	Green Showers Mayten or Madrone Cross		15 gallon	Ca Native, Bark	M
				15 gallon	Ca Native, Bark	L
<b>TALL SHRUBS</b>						
BAK	Bambusa multiplex 'Alphonse Karr'	Clumping Bamboo	3	15 gallon	Foliage	L
PMC	Pittosporum 'Marjorie Channon' or Prunus caroliniana 'Compacta'	Marjorie Shannon Kohuhu or Carolina Cherry	5	5 gallon	Foliage	M
				5 gallon	Foliage	L
<b>SHRUBS</b>						
LES	Loropetalum chinensis 'Emerald Snow'	Emerald Snow Chinese Fringeflower	15	5 gallon	Flowers	L
LSP	Loropetalum chinensis 'Sizzling Pink'	Sizzling Pink Chinese Fringeflower	6	5 gallon	Flowers	L
NAN	Nandina domestica 'Plum Passion' or Nandina domestica 'Gulf Stream'	Plum Passion Heavenly Bamboo or Gulf Stream Heavenly Bamboo	18	5 gallon	Foliage	L
				5 gallon	Foliage	L
<b>VINES/ESPALIERED</b>						
CA	Clematis 'Armandii'	Evergreen Clematis	2	5 gallon	Flowers	M
ESP	Loropetalum chinensis 'Espalier' or Malus '5 Tier' 'Assortad'	Chinese Fringe Flower or Apple 'Full, Yellow Delicious'	6	5 gallon	Flowers	L
					Fruit	M
JAS	Jasminum polyanthum	Pink Jasmine	3	5 gallon	Fragrant	M
LGF	Lonicera hebertii 'Goldflame'	Goldflame Honeysuckle	5	5 gallon	Flowers	M
<b>GROUNDCOVERS/PERENNIALS</b>						
ID	Iris douglasiana 'Canyon Snow' or Heuchera 'Palace Purple', 'Lava Lamp'	White Douglas Iris or Burgundy Alum Root	45	1 gallon	30" OC-Flowers	L
				1 gallon	30" OC-Foliage	L
		Geranium blocova	Cranesbill	50	1 gallon	24" OC-Flowers
<b>GRASSES/FERNS</b>						
CHO	Chondropetalum tectorum	Small Cape Rush	6	5 gallon	Accent, Foliage	L
CTU	Carex tumulicola	Berkeley Sedge	70	1 gallon	36" OC-Native	L
LOM	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	150	1 gallon	36" OC	L
MOR	Moraea liliifolia	Fortnight Lily	20	1 gallon	Accent	L
MT	Miscanthus transmorrisonensis	Evergreen Miscanthus	7	1 gallon	Accent	M
NO-MOW	'Native Mow-Free' Seed Blend	Delta Bluegrass Biofiltration Sod	350	SF	Bioretention Area	L
PT	Phormium 'Amazing Red' or Acacia cognata 'Cousin Itz'	Red New Zealand Flax or Cousin Itz Little River Wattle	8	5 gallon	Accent	L
				5 gallon	Foliage	L

**PLANTING NOTES**

- Existing trees and shrubs to be removed. All proposed planting areas shall be cleared of any weeds and debris prior to soil preparation. In the case of pernicious perennial weeds, a systemic herbicide shall be applied prior to clearing. If particularly difficult weeds, such as wild onion, are encountered, the Landscape Architect and owner shall be contacted prior to proceeding. No soil preparation shall take place in areas where soil is contaminated with cement, plaster, paint or other construction debris. All contaminated soil shall be removed and replaced with a friable sandy loam capable of sustaining healthy plant life and containing no noxious weeds or debris.
- All plant material shall be approved by the Landscape Architect prior to installation and will be rejected if not in accordance with industry standards. Substitution requests to be made to the Landscape Architect for approval prior to site delivery. The plant count is for the convenience of the Landscape Contractor. In case of a discrepancy with the plan, the plant count shall govern.
- Incorporate compost or natural fertilizer into the soil to a minimum depth of 6" at a minimum rate of 4 cubic yards per 1000 square feet or per specific amendment recommendations from a soils laboratory report. A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
- Plant Material shall have the following backfill mix: 30% native soil, 10% 3/16" Lava rock, 60% coarse bark or 60% native soil and 40% recycled screened compost or per soil test recommendations. Holes to be 2 x the diameter x the depth of the plant container. See tree and shrub planting details for additional information.
- Prior to planting, the final location of all plant material to be determined in the field by the Landscape Architect. The Landscape Contractor shall give three (3) days written notice prior to planting placement date. All plant material shall be approved by the Landscape Architect prior to installation and will be rejected if not in accordance with industry standards. Substitution requests to be made to the Landscape Architect for approval prior to site delivery.
- Planting areas shall receive a 3" layer of "Golden Nugget" by American Soil Products or recycled "arbor" mulch. Mulch to be spread after container planting. The landscape contractor shall provide a bark sample to the Landscape Architect prior to shipping to site.
- The Landscape Contractor shall guarantee all new plantings for a duration of six months. The guarantee period shall begin after the Final Inspection and approval. A 60 day establishment maintenance to be provided upon final approval of landscape installation.
- Provide an automatically actuated irrigation system for complete coverage. Shrubs & Trees to be irrigated with 1 GPH Pressure compensating drip emitters: 1/1 gallon, 2/5 gallon, 4/15 gallon or Netafim .8 or .9 GPH inline emitters. Bioretention turf to be irrigated with MP rotators. Controller to be a Smart controller with Rain Sensor & ETA component.
- Planting operations shall conform to the City of Calistoga Water Efficient Landscape Guidelines, WELD, MAWA and WUCOLS IV.



**TREE & SHRUB PLANTING DETAIL** SCALE = N.T.S.

LORI CAGWIN  
LANDSCAPE ARCHITECTURE  
11 Jasmine Street, Yountville, California 94599  
707.945.0835 (Phone) / cagwin@lori-cagwin.com  
lori-cagwin.com www.lorilandscap.com



**PLANTING PLAN**

**Multi Family Residential**  
1514 Washington Street, Calistoga, California

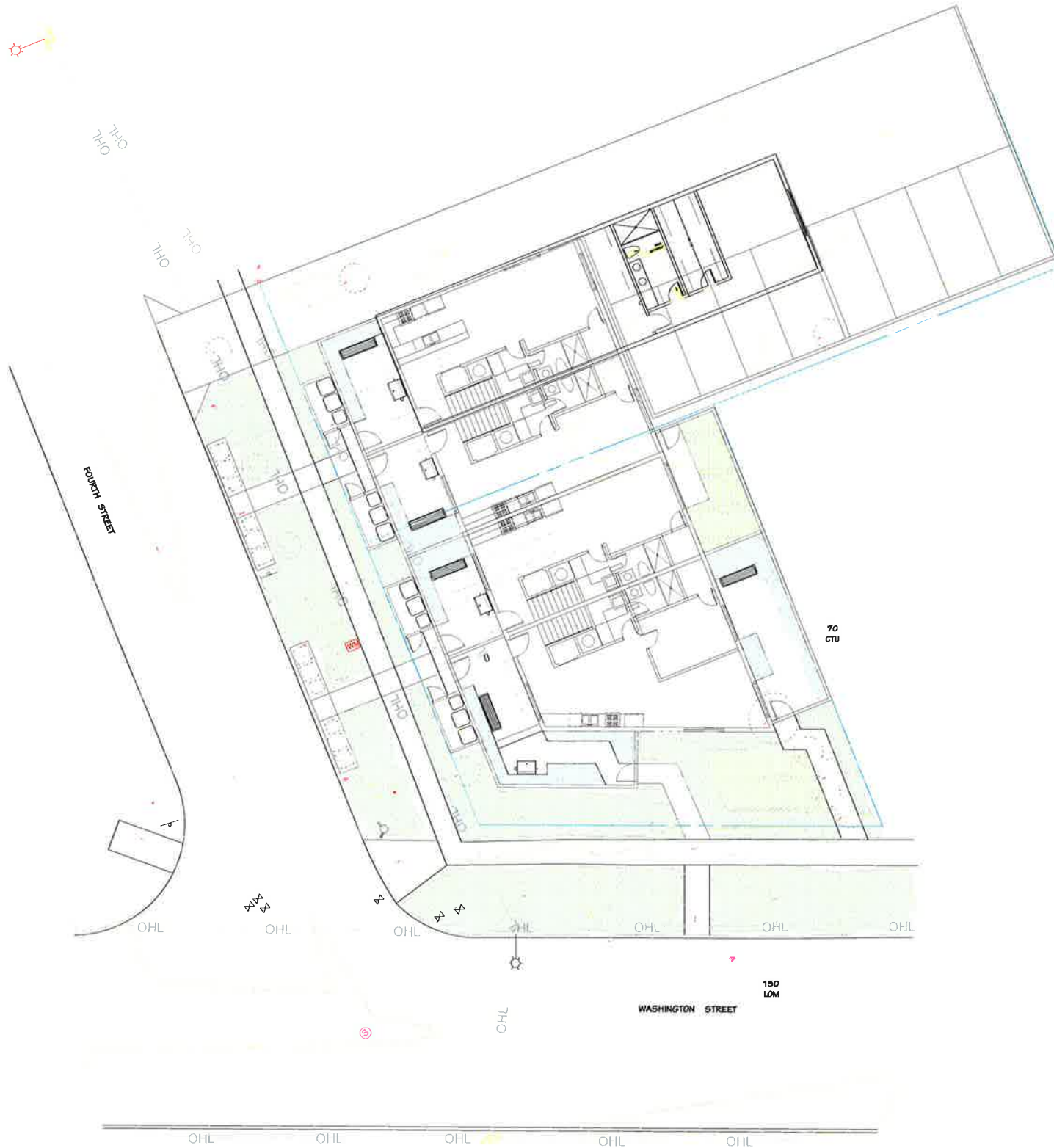
Revisions

Date: 4-30-2018  
Drawn By: LC  
Job: 1514WA  
Sheet

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of 4 sheets





LORI CAGWIN S.J.A. 2011  
 LANDSCAPE ARCHITECTURE  
 11 Jasmine Street, San Jose, California 95128  
 707.945.0835 Phone/Facsimile  
 lori@loricagwin.com www.loricagwin.com



LLAYOUT PLAN

**Multi Family Residential**  
 1514 Washington Street, Calistoga, California

Revisions

Date: 4-27-2018

Drawn By: LC

Job: 1514WA

Sheet

**L1.0**

of 4 sheets



ARBUTUS MARINA



MAYTENUS BOARIA 'GREEN SHOWERS'



CORNUS 'EDDIE'S WHITE WONDER'



FRUNUS CAROLINIANA 'COMPACTA'



PITOSPORUM 'MARJORIE CHANNON'



BAMBUSA MULTIPLEX 'ALPHONSE KARR'



ESPALIERED APPLE

TREES

LARGE SHRUBS



LOROPETALUM CHINENSIS 'SIZZLING PINK'



LOROPETALUM 'CHANG-WHITE'



NANDINA DOMESTICA 'GULF STREAM'



ACACIA COGNATA 'COUSIN ITT'

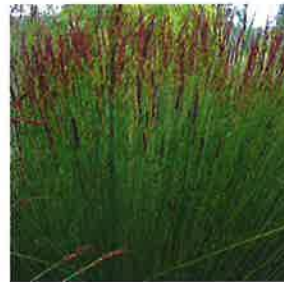


PHORMIUM 'AMAZING RED'

MEDIUM SHRUBS



MISCANTHUS TRANSMORRISONENSIS



CHONDROPETALUM TECTORUM



LOMANDRA LONGIFOLIA 'BREEZE'



IRIS DOUGLASIANA 'CANYON SNOW'

ACCENTS & GRASSES



HEUCHERA 'PALACE PURPLE'



GERANIUM DIOICOYA



CISTUS SALVIFOLIUS



LONICERA HECKROTTII



CLEMATIS ARMANDII



JASMINUM POLYANTHUM



NO-MOW BIORETENTION FESCUE TURF

PERENNIALS & GROUNDCOVERS

VINES

BIOSWALE

PLANTING PALETTE

Multi Family Apartments 2526 Washington Street, Colton, California

Revisions

Date: 4-27-2018

Drawn By: LC

Job: 1514WA

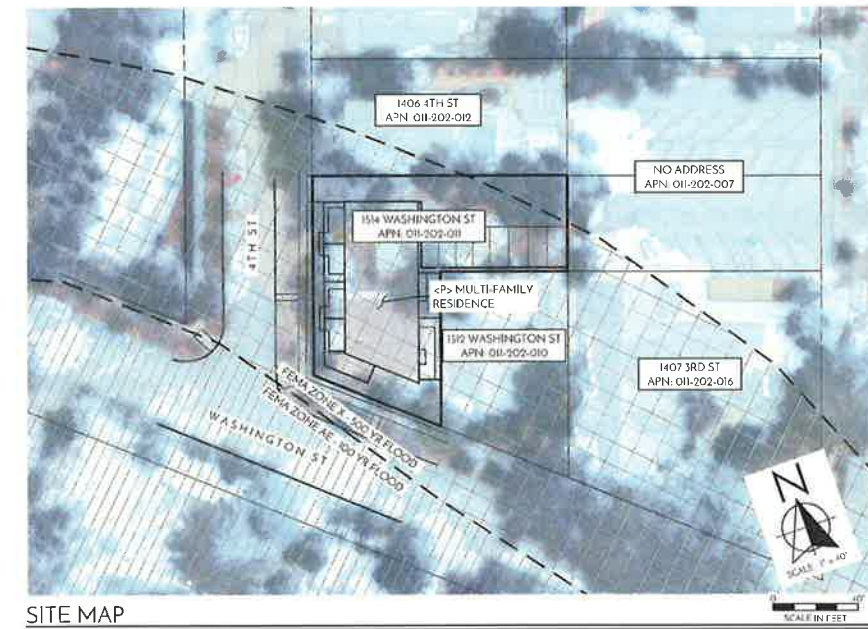
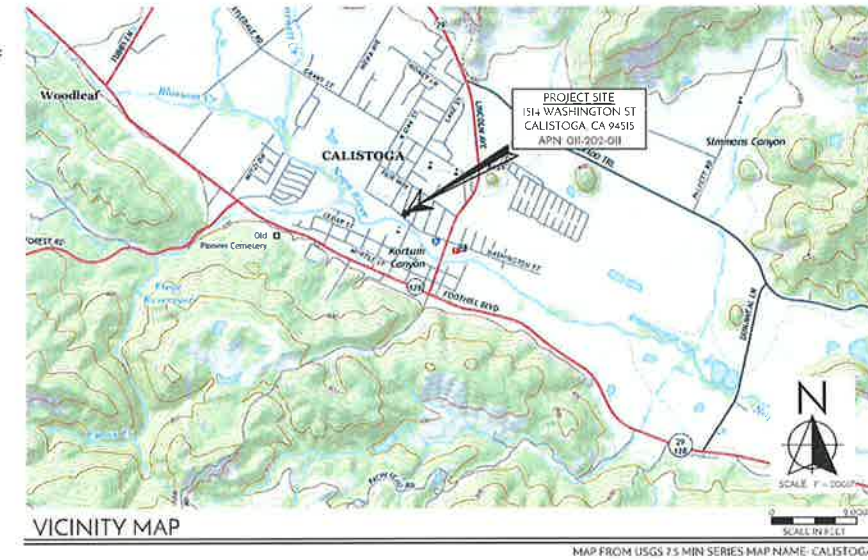
Sheet

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of sheets

# CIVIL IMPROVEMENT PLANS FOR: MULTI-FAMILY HOUSING

1514 WASHINGTON ST  
CALISTOGA, CA, 94515



PROJECT INFORMATION  
OWNER: DMITRI LAKTIONOV  
1349 TARAVAL ST  
SAN FRANCISCO, CALIFORNIA 94116  
ARCHITECT: DAVID KESLER  
4739 25TH ST  
SAN FRANCISCO, CA 94114  
(510) 710-7910

CIVIL IMPROVEMENT PLANS  
COVER SHEET

MULTI-FAMILY HOUSING  
1514 WASHINGTON ST  
CALISTOGA, CA 94515  
APN: 011-202-011  
PROJECT 18.014



DATE: 04/27/18  
JOB: DESIGN REVIEW

NOT FOR CONSTRUCTION

SHEET  
DRI.0

### PROJECT STATEMENT

THE PURPOSE OF THIS PROJECT IS TO OBTAIN DESIGN REVIEW APPROVAL FOR A PROPOSED MULTI-FAMILY DEVELOPMENT AT 1514 WASHINGTON ST, CALISTOGA, CA.

### SURVEY NOTES

1. THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF FEBRUARY, 2018 PERFORMED BY LESQUIRE ENGINEERS, INC.
2. THIS SURVEY IS ON AN ASSUMED DATUM.
3. SEE BENCHMARK DESCRIPTION: CONTROL POINT #899, P.K. NAIL, ELEVATION = 98.22 (ASSUMED).
4. MAJOR ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
5. CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.

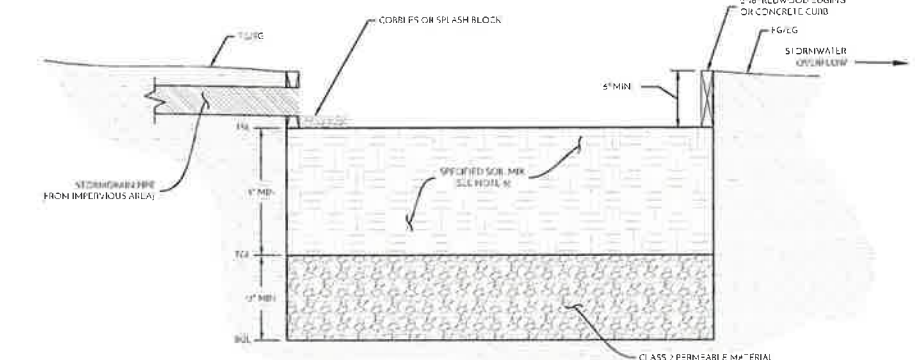
### ESTIMATED EARTHWORK QUANTITIES

- 1. THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BUILDING FACTORS, GRADING PRACTICES, AND COMPACTION VALUES.
- 2. THE UNADJUSTED QUANTITIES HAVE BEEN DETERMINED USING A VOLUMETRIC ANALYSIS BASED ON THE EXISTING AND PROPOSED FINISHED GRADE ELEVATIONS.
- 3. THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE WHEN DEVELOPING ADJUSTED QUANTITY ESTIMATES:
  - QUANTITIES RELATED TO CHURILLCATION AND RECOMPACTION HAVE NOT BEEN ESTIMATED.
  - CONTRACTOR SHALL WORK WITH THE PROJECT GEOLOGICAL ENGINEER TO DETERMINE IF COMPACTION AND BUILDING FACTORS ARE APPLICABLE FOR THE PROPOSED GRADING ACTIVITIES. THESE FACTORS HAVE THE POTENTIAL TO SIGNIFICANTLY ALTER THE CUT & FILL QUANTITIES SHOWN IN THIS ANALYSIS.
  - QUANTITIES FROM UTILITY TRENCHES, FOUNDATION TRENCHES AND STORMWATER DETENTION BASINS HAVE NOT BEEN ESTIMATED.
- 4. SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT.

### ESTIMATED PROJECT EARTHWORK

	UNADJUSTED QUANTITIES (CY)	ADJUSTED QUANTITIES (CY)
CUT	N/A	65
FILL	N/A	67
ESTIMATED NET LAWNWORK		BALANCED

THE APPROXIMATE AREA OF DISTURBED SOIL IS 4,000 SF (0.9 AC)



- NOTES
1. FACILITIES LOCATED WITHIN 10 FEET OF STRUCTURES SHALL INCORPORATE AN IMPERVIOUS CUTOFF WALL.
  2. FACILITIES LOCATED IN AREAS OF HIGH GROUNDWATER, HIGHLY IMPERVIOUS SOILS, OR WHERE CONNECTION OF THE LAND DRAIN TO A SURFACE DRAIN OR SURFACE STORM DRAIN ARE INFEASIBLE MAY OMIT THE UNDERDRAIN.
  3. NO LINER AND FILTER FABRIC, NO LANDSCAPE CLOTH.
  4. MAINTAIN SOIL TO 15% AT 15" D.E. PAINTINGS AS SPECIFIED ON THE PLANS.
  5. CLASS 2 PERMEABLE LAYER MAY EXTEND BELOW AND UNDERNEATH DRAIN INLL.
  6. REQUIRED SOIL MIX: 85% 75% FINE SAND, 10% 40% COMPOST (VOLUME BASIS). SOIL SHALL BE CAPABLE OF ACHIEVING A LONG TERM, IN PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR. SOIL SHALL ALSO SUPPORT VIGOROUS PLANT GROWTH.

### BIORETENTION FACILITY NO SUBDRAIN

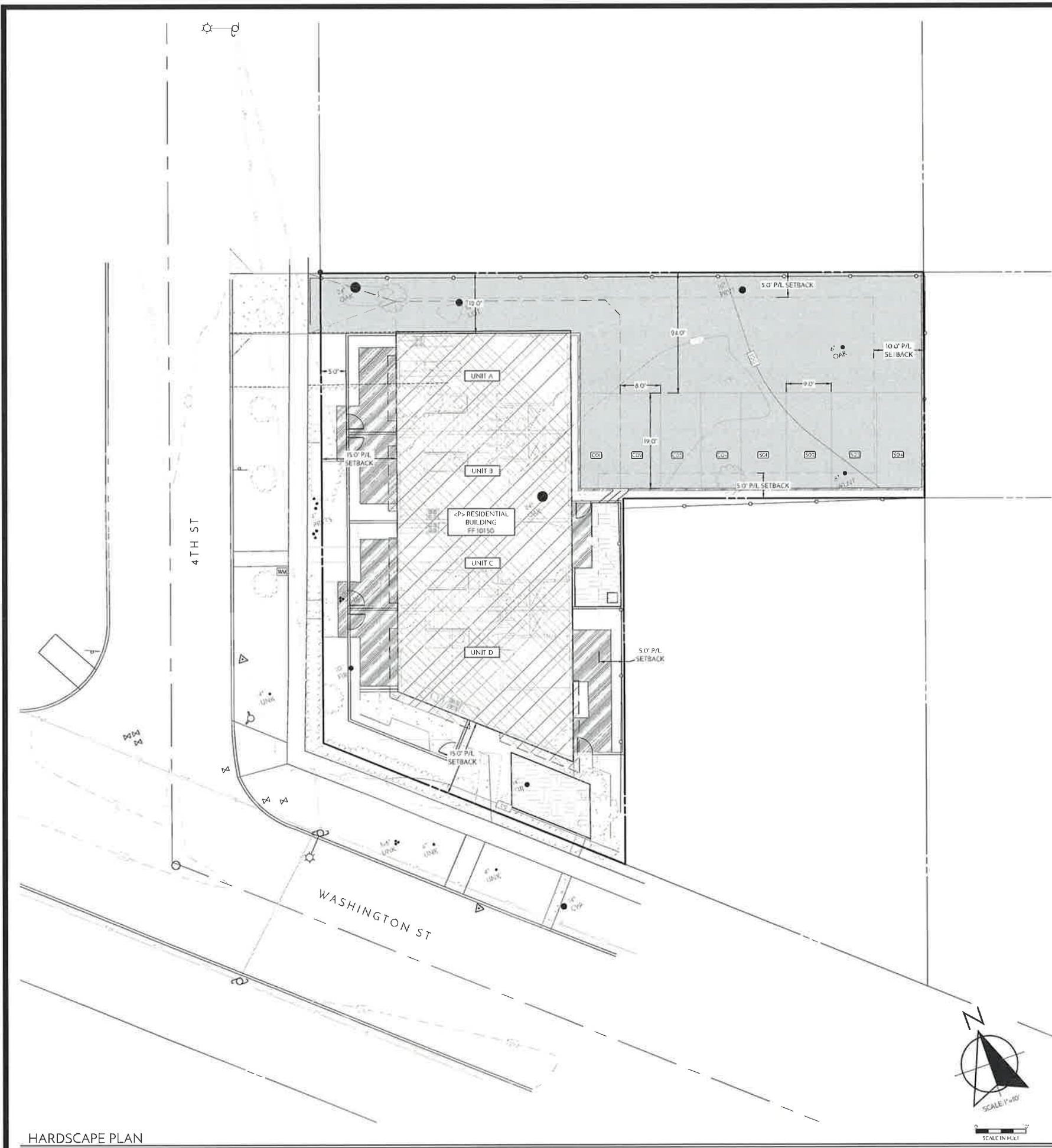
NOT TO SCALE

### ABBREVIATIONS

AB	ASPHALT BASE	BU	BURIED UTILITY	BU	BURIED UTILITY
AC	ASPHALT CONCRETE	CB	CONCRETE BASE	CB	CONCRETE BASE
AD	AREA DRAIN	CL	CLAY	CL	CLAY
BE	BENCH MARK	CO	CONCRETE	CO	CONCRETE
BF	BANK FLOOD RELIEF	CS	CONCRETE SURFACE	CS	CONCRETE SURFACE
BW	BANK WALK	CU	CONCRETE UNDERLAY	CU	CONCRETE UNDERLAY
CA	CURB	DA	DRAINAGE AREA	DA	DRAINAGE AREA
CB	CONCRETE BASE	DB	DRAINAGE BASIN	DB	DRAINAGE BASIN
CC	CONCRETE CURB	DC	DRAINAGE CURB	DC	DRAINAGE CURB
CD	CONCRETE DETENTION BASIN	DD	DRAINAGE DETENTION BASIN	DD	DRAINAGE DETENTION BASIN
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CX	CONCRETE DETENTION BASIN	DX	DRAINAGE DETENTION BASIN	DX	DRAINAGE DETENTION BASIN
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CZ	CONCRETE DETENTION BASIN	DZ	DRAINAGE DETENTION BASIN	DZ	DRAINAGE DETENTION BASIN
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DB	DRAINAGE BASIN	DC	DRAINAGE CURB	DC	DRAINAGE CURB
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DP	DRAINAGE DETENTION BASIN	DQ	DRAINAGE DETENTION BASIN	DQ	DRAINAGE DETENTION BASIN
DQ	DRAINAGE DETENTION BASIN	DR	DRAINAGE DETENTION BASIN	DR	DRAINAGE DETENTION BASIN
DR	DRAINAGE DETENTION BASIN	DS	DRAINAGE DETENTION BASIN	DS	DRAINAGE DETENTION BASIN
DS	DRAINAGE DETENTION BASIN	DT	DRAINAGE DETENTION BASIN	DT	DRAINAGE DETENTION BASIN
DT	DRAINAGE DETENTION BASIN	DU	DRAINAGE DETENTION BASIN	DU	DRAINAGE DETENTION BASIN
DU	DRAINAGE DETENTION BASIN	DV	DRAINAGE DETENTION BASIN	DV	DRAINAGE DETENTION BASIN
DV	DRAINAGE DETENTION BASIN	DW	DRAINAGE DETENTION BASIN	DW	DRAINAGE DETENTION BASIN
DW	DRAINAGE DETENTION BASIN	DX	DRAINAGE DETENTION BASIN	DX	DRAINAGE DETENTION BASIN
DX	DRAINAGE DETENTION BASIN	DY	DRAINAGE DETENTION BASIN	DY	DRAINAGE DETENTION BASIN
DY	DRAINAGE DETENTION BASIN	DZ	DRAINAGE DETENTION BASIN	DZ	DRAINAGE DETENTION BASIN
DZ	DRAINAGE DETENTION BASIN				

### SYMBOL LEGEND

Symbol	Description	Symbol	Description
Circle with dot	UTILITY POLE	Circle with 'S'	SEWER MANHOLE
Circle with 'S'	SEWER MANHOLE	Circle with 'W'	WATER MANHOLE
Circle with 'W'	WATER MANHOLE	Circle with 'E'	ELECTRIC MANHOLE
Circle with 'E'	ELECTRIC MANHOLE	Circle with 'G'	GAS MANHOLE
Circle with 'G'	GAS MANHOLE	Circle with 'T'	TELEPHONE MANHOLE
Circle with 'T'	TELEPHONE MANHOLE	Circle with 'F'	FIRE HYDRANT
Circle with 'F'	FIRE HYDRANT	Circle with 'C'	CURB
Circle with 'C'	CURB	Circle with 'D'	DRAINAGE DETENTION BASIN
Circle with 'D'	DRAINAGE DETENTION BASIN	Circle with 'B'	BANK
Circle with 'B'	BANK	Circle with 'L'	LANDSCAPE LIGHT
Circle with 'L'	LANDSCAPE LIGHT	Circle with 'P'	PLANT
Circle with 'P'	PLANT	Circle with 'R'	ROAD
Circle with 'R'	ROAD	Circle with 'S'	SIDEWALK
Circle with 'S'	SIDEWALK	Circle with 'T'	TERRACE
Circle with 'T'	TERRACE	Circle with 'V'	VALLEY
Circle with 'V'	VALLEY	Circle with 'W'	WATER
Circle with 'W'	WATER	Circle with 'X'	WATER
Circle with 'X'	WATER	Circle with 'Y'	WATER
Circle with 'Y'	WATER	Circle with 'Z'	WATER
Circle with 'Z'	WATER	Circle with 'A'	WATER
Circle with 'A'	WATER	Circle with 'B'	WATER
Circle with 'B'	WATER	Circle with 'C'	WATER
Circle with 'C'	WATER	Circle with 'D'	WATER
Circle with 'D'	WATER	Circle with 'E'	WATER
Circle with 'E'	WATER	Circle with 'F'	WATER
Circle with 'F'	WATER	Circle with 'G'	WATER
Circle with 'G'	WATER	Circle with 'H'	WATER
Circle with 'H'	WATER	Circle with 'I'	WATER
Circle with 'I'	WATER	Circle with 'J'	WATER
Circle with 'J'	WATER	Circle with 'K'	WATER
Circle with 'K'	WATER	Circle with 'L'	WATER
Circle with 'L'	WATER	Circle with 'M'	WATER
Circle with 'M'	WATER	Circle with 'N'	WATER
Circle with 'N'	WATER	Circle with 'O'	WATER
Circle with 'O'	WATER	Circle with 'P'	WATER
Circle with 'P'	WATER	Circle with 'Q'	WATER
Circle with 'Q'	WATER	Circle with 'R'	WATER
Circle with 'R'	WATER	Circle with 'S'	WATER
Circle with 'S'	WATER	Circle with 'T'	WATER
Circle with 'T'	WATER	Circle with 'U'	WATER
Circle with 'U'	WATER	Circle with 'V'	WATER
Circle with 'V'	WATER	Circle with 'W'	WATER
Circle with 'W'	WATER	Circle with 'X'	WATER
Circle with 'X'	WATER	Circle with 'Y'	WATER
Circle with 'Y'	WATER	Circle with 'Z'	WATER
Circle with 'Z'	WATER		



**HARDSCAPE LEGEND**

TYPE OF IMPERVIOUS SURFACE	AREA DESCRIPTIONS	AREA (SF)	TYPICAL SECTION	PERVIOUS/ IMPERVIOUS
BUILDINGS, GARAGES, CARPORTS, OTHER STRUCTURES WITH ROOFS	BUILDINGS	2,870	N/A	IMPERVIOUS
	WOOD DECK	765	N/A	IMPERVIOUS
PATIO, IMPERVIOUS DECKING, PAVERS AND IMPERVIOUS LINERS	CONCRETE	0	N/A	IMPERVIOUS
SIDEWALKS AND PATHS	CONCRETE	360	4" CONC OVER 4" CL 2 AB	IMPERVIOUS
PARKING/DRIVEWAY	ASPHALT CONCRETE	3,570	2.5" AC OVER 6" CL 2 AB	IMPERVIOUS
OFF-SITE IMPERVIOUS IMPROVEMENTS	CONCRETE	210	5" CONC OVER 4" CL 2 AB	IMPERVIOUS
OTHER PERVIOUS SURFACE	DECOMPOSED GRANITE	0	N/A	PERVIOUS
	PLANTING	0	N/A	PERVIOUS
	LAWN	0	N/A	PERVIOUS
	BIORETENTION	34	N/A	PERVIOUS
<b>TOTAL</b>		<b>8,039</b>		

TOTAL NEW/RECONSTRUCTED IMPERVIOUS AREA 7,675 SF (0.18 AC)  
 TOTAL DISTURBED SOIL AREA 9,000 SF (0.21 AC)

HARDSCAPE PLAN

NOT FOR CONSTRUCTION

THESE PLANS AND SPECIFICATIONS SHALL BE SUBJECT TO REVIEW BY THE CITY OF CALISTOGA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CITY OF CALISTOGA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL SERVICES. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TOOLS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TOOLS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES.



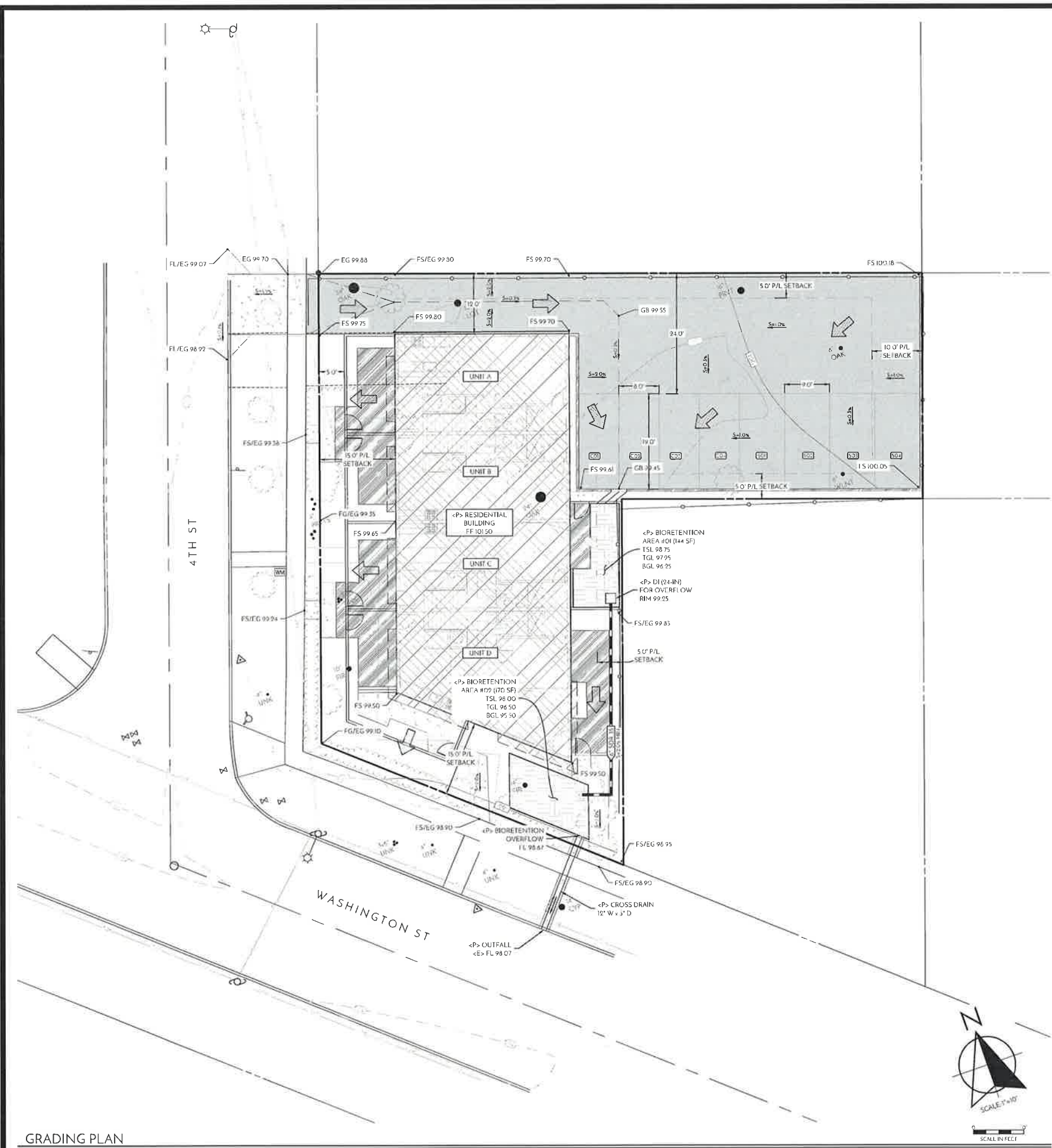
CIVIL IMPROVEMENT PLANS  
**HARDSCAPE PLAN**

MULTI-FAMILY HOUSING  
 1514 WASHINGTON ST  
 CALISTOGA, CA 94515  
 APN: 011-202-011  
 PROJECT 18 024



DATE: 04/27/18  
 ISSUE: DESIGN REVIEW

DR2.0



GRADING PLAN

NOT FOR CONSTRUCTION

UNLAWFUL TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OF RECORD.



CIVIL IMPROVEMENT PLANS  
GRADING PLAN

MULTI-FAMILY HOUSING  
1514 WASHINGTON ST  
CALISTOGA, CA 94515  
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PROJECT 18 024



Date: 04/27/16 Issue: DESIGN REVIEW

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