



City of Calistoga
Planning Commission
Agenda Item Summary

DATE	August 22, 2018
ITEM	Craftsman Inn Remodel and Expansion Use Permit UP 2018-7, Design Review DR 2018-5
APPLICANTS / OWNERS	Nicholas and Gillian Kite
STAFF CONTACT	Lynn Goldberg, Planning & Building Director
POTENTIAL CONFLICTS	None
RECOMMENDATION	Adopt a resolution approving the use permit and design review applications with conditions.
SUGGESTED MOTION	"I move that the Planning Commission adopt a resolution approving use permit and design review applications for a 13-unit hotel and spa at 1213 and 1303 Foothill Boulevard"

CITY OF CALISTOGA

STAFF REPORT

TO: CALISTOGA PLANNING COMMISSION
FROM: LYNN GOLDBERG, PLANNING & BUILDING DIRECTOR
MEETING DATE: AUGUST 22, 2018
SUBJECT: CRAFTSMAN INN REMODEL AND EXPANSION USE PERMIT
AND DESIGN REVIEW (UP 2018-7, DR 2018-5)
1213 & 1303 FOOTHILL BLVD

ITEM

1 Consideration of use permit and design review applications to expand an existing 5-unit
2 bed and breakfast to a 13-unit hotel and spa, exclusively for guest use, at 1213 and
3 1303 Foothill Boulevard

4 **BACKGROUND / PROJECT DESCRIPTION**

5 The property located at 1213 Foothill Boulevard is established with the Craftsman Inn, a
6 five-unit bed and breakfast. The 1303 Foothill Boulevard property is established with a
7 vacant single-family residence.

8 As indicated in the project's written narrative, the applicants wish to combine the two
9 properties and expand the Craftsman Inn, integrating the structure at 1303 Foothill
10 Boulevard and adding new structures and amenities. The operation would be
11 considered a hotel instead of a bed and breakfast.

12 The Planning Commission approved this project on August 24, 2016 (UP 2016-4, DR
13 2016-12), subject to a one-year project initiation timeframe. The Planning and Building
14 Director subsequently approved a requested one-year time extension, citing progress
15 the applicants had made on applying for project building permits. However, this
16 extension will lapse on August 24, 2018, and the Calistoga Municipal Code does not
17 allow the approval of additional extensions by either the Commission or Director.
18 Therefore, the applicants have applied for re-approval of the original project.

19 The project narrative summarizes some Commissioner comments that were made
20 during the August 24, 2016 hearing which they have tried to address, as follows:

- 21 • *Desire that any mechanical items and parking be screened - We intend to*
22 *underground utility feeds. Many mechanical items will be inside in dedicated*
23 *mechanical space. Fire pumps, if needed, will be placed below the 1303 building*
24 *and not visible. Condenser units will be behind the 1213 [Foothill] building, not*
25 *visible from the street and screened from view even within the site. We will use a*
26 *combination of landscaping and fencing to screen the view of the parking from*
27 *the street to the maximum extent possible.*

- 28 • *Would like to see material variation between 1213 and 1303 buildings - We will*
29 *introduce variations in materials and style to ensure appropriate variation*
30 *between the two street facing buildings.*
- 31 • *Prefer standard versus compact parking spaces - We have not been able to*
32 *entirely eliminate the compact spaces and meet the 17-space requirement. The*
33 *site is just too tight. If the requirement were reduced to 16 we could widen the*
34 *compact spaces at the front.*

35 **DISCUSSION**

36 There have been no significant changes in the project site surroundings or to the City's
37 General Plan policies or Zoning Code regulations that would alter the conclusions of the
38 August 24, 2016 staff report.

39 **PUBLIC COMMENTS**

40 As of August 19, no public comments had been received regarding this project.

41 **FINDINGS**

42 To reduce repetition, all of the necessary findings to approve the use permit and design
43 review applications are contained in the draft resolution.

44 **ENVIRONMENTAL REVIEW**

45 The proposed project is Categorically Exempt from the requirements of the California
46 Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA Guidelines
47 (In-fill Development).

48 **RECOMMENDATION**

49 Adopt a resolution approving the use permit and design review applications with
50 conditions.

ATTACHMENTS

1. Location Map
2. Draft Resolution
3. Project Narrative
4. Project Plans received June 28, 2016
5. Staff Report dated August 24, 2016
6. Planning Commission August 24, 2016 Minutes excerpt



Location Map



**CITY OF CALISTOGA
PLANNING COMMISSION
RESOLUTION PC 2018-XX**

**APPROVING USE PERMIT UP 2018-7 AND DESIGN REVIEW DR 2018-5 FOR THE
REMODEL AND EXPANSION OF A 5-UNIT BED AND BREAKFAST TO A 13-UNIT
HOTEL AT 1213 AND 1303 FOOTHILL BOULEVARD**

1 **WHEREAS**, the applicants have submitted use permit and design review
2 applications to allow the remodel and expansion of a 5-unit bed and breakfast to a 13-
3 unit hotel and spa, exclusively for guest use, at 1213 and 1303 Foothill Boulevard; and

4 **WHEREAS**, the Planning Commission considered the requests at its regular
5 meeting of August 22, 2018. Prior to taking action on the application, the Planning
6 Commission received written and oral reports from staff, and received public testimony;
7 and

8 **WHEREAS**, this action has been reviewed for compliance with the California
9 Environmental Quality Act (CEQA) and is exempt from the requirements of the CEQA
10 pursuant to Section 15332 of the CEQA guidelines (In-fill Development); and

11 **WHEREAS**, the Planning Commission pursuant to Chapter 17.41.050 has made
12 the following findings for the design review application:

- 13 1. Finding: The design is in accord with the General Plan and any applicable
14 planned development.

15 Supporting Evidence: The existing buildings on the site consist of a 1912
16 Craftsman-style structure and a simple understated 1940s house. The adjoining
17 development reflects a wide range of uses and styles. Given this eclectic design
18 mix, the proposed development has been designed to achieve a complementary
19 style by minimizing the scale of its visual appearance from the roadway and
20 utilizing limited rural and Craftsman detailing and style to blend into and
21 complement the surrounding developments. The new structure will be behind the
22 existing properties, with limited visibility from the street. The visible mass and
23 scale will be smaller than the adjacent property. The utilization of planted flat
24 roofs, extensive landscaping, muted color scheme and use of natural facing
25 materials will blend the structure into the landscape. The overall appearance of
26 the properties will contribute to an improved appearance for the Downtown
27 Character Area and Lincoln Avenue/Foothill Boulevard Gateway overlays,
28 consistent with Calistoga's small town rural character. Therefore, the proposed
29 development is consistent with the General Plan's development and design
30 considerations.

- 31 2. Finding: The design is in accord with all applicable provisions of the Zoning
32 Code.

33 Supporting Evidence: The proposed project is in accord with all applicable
34 provisions of Title 17, Zoning by complying with the applicable development
35 regulations and parking requirements.

36 3. Finding: The design is consistent with any adopted design review guidelines to
37 the extent possible.

38 Supporting Evidence: The design is consistent with Calistoga's small-town
39 character and the urban design quality of the downtown, which is consistent with
40 the design guidelines of the General Plan Community Identity Element and the
41 character areas, gateways and entry corridors of the Land Use Element, as
42 detailed in Finding 1 above.

43 4. Finding: The design will not impair or interfere with the development, use or
44 enjoyment of other property in the vicinity or the area.

45 Supporting Evidence: It is not anticipated that the guests at this high-end visitor
46 accommodation will have a noise impact on the adjoining uses. Furthermore, the
47 project has been designed to minimize impacts on the adjoining residence to the
48 west. The shared usage of the driveway will be reduced and it will be resurfaced
49 and enlarged to improve access.

50 **WHEREAS,** the Planning Commission pursuant to Chapter 17.40.070 has made
51 the following findings that the proposed use permit:

52 1. Finding: Is in accord with the General Plan and any applicable planned
53 development.

54 Supporting Evidence: The proposed structures and their intended uses are
55 consistent with the General Plan land use designation of Downtown Commercial,
56 which allows visitor accommodations.

57 2. Finding: Is in accord with all applicable provisions of this [Zoning] title.

58 Supporting Evidence: The proposed project is in accord with all applicable
59 provisions of Title 17, Zoning by complying with the applicable development
60 regulations and parking requirements.

61 3. Finding: Will not substantially impair or interfere with the development, use or
62 enjoyment of other property in the vicinity.

63 Supporting Evidence: It is not anticipated that the guests at this high-end visitor
64 accommodation will have a noise impact on the adjoining uses. Furthermore, the
65 project has been designed to minimize impacts on the adjoining residence to the
66 west.

67 4. Finding: Is consistent with and will enhance Calistoga's history of independently-
68 owned businesses, thus contributing to the uniqueness of the town, which is
69 necessary to maintain a viable visitor industry in Calistoga and to promote its
70 economy.

71 Supporting Evidence: Approving the use permit application allows a unique,
72 independently-owned business to contribute to and become a successful
73 attribute to the community. The proposed use will contribute to the viability of the
74 city’s visitor industry and economy.

75 **NOW, THEREFORE, BE IT RESOLVED** by the City of Calistoga Planning
76 Commission that based on the above findings, the Planning Commission approves the
77 proposed project, subject to the conditions of approval contained in Exhibit A attached
78 hereto.

79 **PASSED AND ADOPTED** on August 22, 2018 by the following vote of the
80 Calistoga Planning Commission:

- 81 AYES:
- 82 NOES:
- 83 ABSENT:
- 84 ABSTAIN:

86 _____
87 Paul Coates, Chair
88

89 ATTEST: _____
90 Lynn Goldberg, Secretary
91
92

Exhibit A

Conditions of Approval for UP 2018-7, DR 2018-5

- 93
94
95 1. The uses hereby permitted shall substantially conform to the project narrative dated
96 July 28, 2018 and the supporting plans received June 28, 2016 by the Planning and
97 Building Department, except as noted in the permit conditions.
98 This use permit and design review allows the remodel of the existing structures
99 and the construction of a structure for use as a 13-unit hotel and spa, exclusively
100 for hotel guests. The spa and dining areas shall not be open to the general
101 public.
- 102 2. This permit shall be null and void if not used within a one-year period, or if the use
103 is abandoned for a period of one hundred and eighty (180) days. This permit shall
104 be valid until it expires or is revoked pursuant to the terms of this permit and/or
105 Chapter 17.40 of the Calistoga Municipal Code.
- 106 3. Any expansion or change of use may require an amendment to the subject use
107 permit, as determined by the Planning and Building Department. Minor
108 modifications may be approved in writing by the Planning and Building Director.
- 109 4. The owner(s) shall permit the City of Calistoga or representative(s) or
110 designee(s) to make periodic inspections of the project at any reasonable time
111 deemed necessary in order to assure that the activity being performed under
112 authority of this permit is in accordance with the terms and conditions prescribed
113 herein.
- 114 5. This use permit does not abridge or supercede the regulatory powers or permit
115 requirements of any federal, state or local agency, special district or department
116 which may retain regulatory or advisory function as specified by statute or
117 ordinance. The applicant shall obtain permits as may be required from each
118 agency.
- 119 6. Prior to the commencement of operations, the operator shall obtain a Business
120 License to reflect the appropriate number of guest room units (i.e., 13 guest
121 units) pursuant to the City of Calistoga Municipal Code Chapter 5.04. The
122 applicant shall, at all times, remain in compliance with the requirements of
123 Chapter 5.04.
- 124 7. The operation shall remain, at all times, in compliance with the City of Calistoga
125 Municipal Code Chapter 3.16, Transient Occupancy Tax and be current on
126 collection of, reporting to and payment of all transient occupancy taxes to the
127 City.
- 128 8. Prior to any building permit issuance, the properties shall be merged.

- 129 9. Prior to any building permit issuance, \$12,000 shall be paid to the City for deposit
130 in its affordable housing fund for the loss of the housing unit located at 1303
131 Foothill Boulevard.
- 132 10. Prior to the installation of any landscaping, a final landscape plan prepared in
133 accordance with the State Water Efficient Landscape Ordinance shall be
134 submitted for City approval. Landscaping shall be installed prior to occupancy. All
135 landscaping shall be maintained throughout the life of the project, and shall be
136 replaced as necessary.
- 137 11. All permanent exterior lighting shall be directed and/or shielded so as not to
138 shine or create glare on adjacent properties, subject to the review and approval
139 of the Planning and Building Department.
- 140 12. Prior to the issuance of any building permit, a fire suppression sprinkler system
141 plan shall be submitted to the Building Section for review and approval by the
142 Building Section and Fire Department. Prior to occupancy, the automated fire
143 sprinkler system shall be installed.
- 144 13. Prior to occupancy, an inspection shall be conducted by the Fire Department to
145 ensure installation of fire extinguishers, smoke detectors and carbon monoxide
146 detectors.
- 147 14. The properties carry a baseline of 1.36 acre feet of water and 0.867 acre feet of
148 wastewater annually. Prior to building permit issuance, the owner shall obtain a
149 Growth Management Allocation for an additional 1.36 acre feet of water and 1.20
150 acre feet of wastewater and pay the connection fees required for the additional
151 water and sewer allocation subject to the review and approval of the Planning &
152 Building and Public Works Departments. The water and/or wastewater allocation
153 may be reduced subject to the review and approval of the Public Works
154 Department.
- 155 15. Prior to building permit issuance, a Tree Protection and Replacement Plan
156 consistent with Calistoga Municipal Code Chapter 19.01 shall be reviewed and
157 approved by the Public Works Department. All requirements and restrictions
158 contained in Chapter 19.01 shall be complied with, which shall include any
159 recommendations of the project arborist. Construction activity shall stay outside
160 the drip line of any protected tree to the maximum extent feasible. Prior to any
161 ground disturbance, protective fencing shall be installed subject to the review and
162 approval of the Public Works Department. The project arborist shall closely
163 monitor ground-disturbing activities. Subsequently, the project arborist shall
164 prepare a letter to the Planning and Building Department stating that the
165 observations were made and that any unexpected root damage was mitigated.
- 166 16. Prior to occupancy, two new commercial driveway approaches shall be
167 constructed, subject to the review and approval of the Public Works Department
168 and Caltrans.

- 169 17. Prior to occupancy, a new curb, gutter and sidewalk shall be constructed from
170 the western crosswalk at the intersection of Lincoln and Foothill to the project
171 site, subject to the review and approval of the Public Works Department and
172 Caltrans.
- 173 18. Prior to occupancy, the applicant shall connect to the City's water and sewer
174 mainlines subject to the review and approval of the Public Works Department. All
175 new water meters shall have radio read capability.
- 176 In the event existing sewer laterals are to be used, the owner shall provide the
177 City with a closed circuit television inspection of the existing sewer laterals with a
178 Public Works employee present indicating that the laterals are structurally sound
179 and correctly slope to serve the project. All existing laterals abandoned shall be
180 capped subject to the review and approval of the Public Works Department. The
181 main shall also be videoed and any other existing unused laterals along the
182 project's frontage shall be capped.
- 183 In addition, the existing water service laterals shall be removed and full circle
184 clamped. The developer shall install a larger water service to hydraulically serve
185 fire, domestic, irrigation needs. A cut-in tee and 3-way valves will be required to
186 the existing 6"AC pipe across the street
- 187 19. Prior to building permit issuance, an erosion and sedimentation plan with low
188 impact development features supported with calculations indicating that the
189 storm water runoff is at or less than existing conditions for 10- and 100-year 24-
190 hour rain events shall be reviewed and approved by the Planning and Building
191 and Public Works Departments.



NICHOLAS AND GILLIAN KITE

The Craftsman Inn

1213 FOOTHILL BOULEVARD • CALISTOGA, CA • 94515

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July 28th, 2018

TO: CITY OF CALISTOGA
PLANNING AND BUILDING DEPARTMENT
1232 WASHINGTON STREET
CALISTOGA, CA 94515

Re: Narrative supporting Design Review and Conditional Use Permit application for expansion of The Craftsman Inn.

Dear Lynn,

With this letter we request a design review and use permit approval for a boutique hotel on the properties located at 1213 and 1303 Foothill Boulevard within the Downtown Commercial land use designation and Downtown Commercial zoning district. Below is the required narrative describing the proposed expansion.

We have owned the property at 1213 Foothill Boulevard since 2005. Renovations to restore the unsightly and dilapidated building and convert it to the current high-quality visitor accommodation were completed in 2007. We have been operating The Craftsman Inn since then as a 5-unit bed and breakfast facility (U 2010-08 and U 2006-16).

In 2014 we purchased the adjoining property at 1303 Foothill Boulevard. This run-down building had been operating as a commercial fortune telling parlor, as we found, complete with three dimensional murals and associated items.

In 2015 the City Council approved our application to rezone both properties to the current Downtown Commercial land use and zoning.

In 2016 the Planning Commission approved UP 2016-4 and DR 2016-12 to convert the existing structure at 1303 Foothill Boulevard to a new suite, to add seven new rooms and associated visitor serving amenities creating an integrated upscale commercial visitor accommodation. Some Commissioner comments were made during the hearing which we have tried to address, specifically:

- Desire that any mechanical items and parking be screened. - We intend to underground utility feeds. Many mechanical items will be inside in dedicated mechanical space. Fire pumps, if needed, will be placed below the 1303 building and not visible. Condenser units

will be behind the 1213 building, not visible from the street and screened from view even within the site. We will use a combination of landscaping and fencing to screen the view of the parking from the street to the maximum extent possible.

- Would like to see material variation between 1213 and 1303 buildings. - We will introduce variations in materials and style to ensure appropriate variation between the two street facing buildings.
- Prefer standard versus compact parking spaces. - We have not been able to entirely eliminate the compact spaces and meet the 17-space requirement. The site is just too tight. If the requirement were reduced to 16 we could widen the compact spaces at the front.

In the intervening two years we have made every effort to enable construction to start. However, we had significant family health problems in late 2016 which reduced our ability to drive progress forward on the project. We therefore engaged a construction consultant and his selected architect and structural engineer, in early 2017, with the objective of ensuring we would be ready to break ground spring of 2018. Unfortunately, the appointed consultants failed to perform and did not have the building permit plans ready by the agreed deadline needed to allow building permits to be issued in time for a May break ground. We have had to acknowledge that we are already now too late in the year to start construction and be out of the ground before the rains come in the fall and that construction will now have to wait until spring of next year.

The existing approvals, UP 2016-4 and DR 2016-12 expire on their two-year anniversary on 8/24/2018. We understand that those specific approvals cannot technically be further extended. Therefore, on the advice of staff, we are making this application for a new Design Review and Conditional Use Permit approval although the application remains essentially unchanged from our original request.

The statements below, in support of the design review and use permit findings, have been reformatted to fit the revised city format of meeting four findings for use permits instead of the previous ten findings. Other than that, they are materially unchanged from our original submission in 2016.

Design Review Findings:

- 1. The application is in accord with the General Plan and any applicable planned development.*

Summary:

The proposed development is consistent with both the letter and the spirit of the General Plan enhancing the appearance of this important Calistoga gateway and implementing the Plan's Economic Development and Land Use objectives.

The relevant areas of the general plan are the Economic Development, Housing and Land Use Elements.

Economic Development Element:

Objective ED-1.1 calls for support of the lodging industry in general. More specifically Policies P1. and P2. seek to encourage upgrades and expansion of existing lodging facilities to be high-market,

full service health-and wellness oriented to meet the changing demands of customers and to strengthen business vitality.

The expansion and upgrade of the existing lodging facility will provide luxury accommodations along with strongly health-and wellness focused amenities and is therefore in accord with the Economic Development Element of the General plan.

Land Use Element:

Several sections of the Land Use Element of the General Plan are applicable to the project with relevant input to Land Use and Connectivity (covered here) and Development and Design (covered below in question 3. of this design review questionnaire).

Land Use Considerations:

The Downtown Commercial Land Use designation (Page LU-11) permits Visitor Accommodations which conform to General Plan Policies. The Lincoln Avenue/Foothill Boulevard Gateway Overlay Land Use Considerations (Page LU-31) calls for retaining, enhancing and supplementing the existing lodging establishments in the area.

The enhancement of the existing Visitor Accommodation proposed here is therefore in accord with the relevant Land Use Elements of the General Plan.

Connectivity Considerations:

The Connectivity Considerations of the Foothill Character Area Overlay (Page LU-23) recommends installation of rural pathways that minimize physical alterations to properties along Foothill Boulevard to the extent possible.

Staff agree that installation of such pathways in front of the project properties would require significant physical alterations to provide a path that nobody would use and which could potentially encourage unsafe jay walking across the busy road. As an alternative we propose installing an appropriate pathway from the South Eastern corner of the property to the crossing at the corner of Kortum Canyon and Foothill Boulevard, subject to the agreement and cooperation of the relevant property owners and government entities. Therefore, the project will be fully in accord with the Connectivity Considerations of the Land Use Element of the General Plan.

Housing Element:

As a commercial development on commercially zoned land the majority of the Housing Element is not applicable to the proposed project. Goal H-3, Objective H-3.1 and Policy P3.1-1 seek to maintain the City's housing stock by minimizing the loss of existing housing units including discouraging the conversion of housing to non-residential uses. Action A.3.1-1 permits the City Council to allow conversion on payment of an in-lieu fee to the Affordable Housing Fee in cases where the proposed uses clearly provide other benefits to the city.

Although the current dwelling unit, i.e. the basement manager's apartment, at 1213 Foothill Boulevard will be retained the project does propose the conversion of the existing building at 1303 Foothill Boulevard to visitor accommodation. As shown previously the project clearly provides benefits to the City by implementing the Economic Development and Land Use Objectives of the

General Plan. Therefore, Staff have advised that payment of the current in-lieu fee for an affordable unit of \$12,000 would be appropriate. With this payment the project will be in accord with the Housing Element of the General Plan.

2. *The application is in accord with all applicable provisions of Title 17, Zoning.*

Summary:

The proposed project is in accord with all applicable provisions of Title 17, Zoning.

The applicable provisions of Title 17, Zoning are Chapter 17.21 DC DOWNTOWN COMMERCIAL DISTRICT, and Chapter 17.36 OFF-STREET PARKING AND LOADING.

Chapter 17.21 DC DOWNTOWN COMMERCIAL DISTRICT

Section 17.21.030 Conditionally permitted uses. Item 16 allows Hotels, hotel-condominiums, motels, resorts and inns as conditionally permitted uses.

The proposed use as boutique hotel is in accord with the provisions of Section 17.21.030 Conditionally permitted uses.

Section 17.21.060 Development standards. Defines the applicable standards for the development.

Review of the detailed plans with staff has confirmed that the proposed project is in accord with the provisions of Section 17.21.060 Development standards.

Chapter 17.36 OFF-STREET PARKING AND LOADING.

Section 17.36.140 Off-street parking – Commercial and industrial uses. Requires Tourist/Visitor Accommodations to have 1.1 spaces per unit plus 1 space for manager.

Section 17.36.130 Parking requirements – Residential uses. Requires 2 spaces for a dwelling unit.

The guest rooms and retained basement manager’s unit will therefore require 17 spaces. The parking layout will provide 17 spaces including Handicap Van accessible and some compact spaces in accord with the provisions of the chapter. Therefore, the project is in accord with the provisions of Chapter 17.36 OFF-STREET PARKING AND LOADING.

3. *The application is consistent with any adopted design review guidelines to the extent possible.*

Summary:

The proposed project is consistent with all relevant design guidelines.

Absent adopted design review guidelines staff have advised that the Development and Design Considerations articulated in the relevant sections of the Land Use Element of the General Plan are applicable.

General Plan: Land Use Element: Entry Corridor Overlay: Design and Development Considerations, (Page LU-16):

All development in this area should maintain existing rural and open space qualities. Appropriate site layout, architecture, and setbacks should be used to create an understated visual appearance for development visible from the roadway. Setbacks shall be wide in order to preserve rural characteristics and shall be landscaped with trees, vineyards and/or native vegetation.

The design has been developed to embrace the sloping hillside topography. Drawing inspiration from the advice of the Calistoga General Plan the tiered architecture, following the line of the hillside, has been chosen to create a small visual footprint that blends smoothly into the existing development pattern to create an attractive addition to the Entry Corridor streetscape with an understated visual appearance. Overall, the site layout, architecture, and setbacks have been used to create an understated visual appearance for all portions of the development visible from the roadway. The new structure will be behind the existing properties with limited visibility from the street. The visible mass and scale will be smaller than the adjacent property. The utilization of planted flat roofs, extensive landscaping, muted color scheme and use of natural facing materials will blend the structure into the landscape enhancing the country town appearance of the entry corridor. Therefore, the design is consistent with this Development and Design Consideration.

Walls, fences and berms included in landscaping should incorporate materials and design that blend harmoniously with the surrounding landscape.

The frontage landscaping will build, on the existing river rock wall topped with appropriate landscaping and vines to shield parking from sight and project an appropriate rural small town appearance. All landscaping will incorporate materials and design to ensure that it blends harmoniously with the surrounding landscape. Therefore, the project is consistent with this Development and Design Consideration.

The appearance of historic buildings visible from public streets shall be preserved.

The appearance of the historic Craftsman style 1213 Foothill Boulevard property will be preserved and enhanced by the removal of the concrete stairway added at some time after the original construction. Therefore, the proposed development is consistent with this Development and Design Consideration.

Parking areas should not be visible from the entry corridor roadway.

The existing parking will be supplemented with a new parking area at the front of the property which will be graded and landscaped to minimize visibility from the roadway consistent with the driveway width requirements and existing site conditions. Therefore, the parking elements of the project are consistent with this Development and Design Consideration.

New development shall not include shopping centers, gas stations, "big-box" retailers, or other commercial centers with strip retail characteristics, and formula businesses shall be discouraged.

Whilst many potential uses of these two parcels could be envisaged this proposal seeks to enhance Calistoga's rural small town character and does not include any strip retail characteristics. Therefore, the proposal is consistent with this Development and Design Consideration.

Commercial uses permitted in the entry corridor should complement rather than compete with Calistoga's downtown

commercial core. Examples of such uses include, but are not limited to, nurseries, destination spas and resorts, museums, winery and vineyard-related businesses and community facilities such as a library or recreational use.

The proposed use is as a destination resort. Therefore, the use is consistent with this Development and Design Consideration.

General Plan: Land Use Element: Lincoln Avenue/Foothill Boulevard Gateway: Design and Development Considerations, (Page LU-31):

The defining streetscape elements of the Historic District of the Downtown Character Area should be extended to the Lincoln/Foothill intersection and along Foothill east to Pine Street and west to Elm Street.

Staff have indicated that due to the topography of the south side of Foothill Boulevard from the there are no plans to extend streetscape elements from the subject properties to the North West. As an alternative we propose installing a pathway as previously described in the Connectivity Considerations section. Therefore, the project is consistent with this Development and Design Consideration.

As opportunities present themselves, enhance the appearance of properties in this area and coordinate improvements to area access, circulation and parking.

The proposed development will significantly enhance the appearance of the previously rundown and dilapidated property at 1303 Foothill Boulevard. The overall appearance of the properties will contribute to an improved appearance for the gateway consistent with Calistoga's small town rural character. The pathway described under Connectivity Considerations will improve area access and pedestrian circulation. Therefore, the proposed development is consistent with this Development and Design Consideration.

All overhead utilities should be placed underground.

All utility runs onto the property will be placed underground. Therefore, the project is consistent with this Development and Design Consideration.

Outdoor lighting shall be designed to preserve and protect the nighttime environment in accordance with the following International Dark Sky Association model ordinance objectives:

- *Provide the minimum lighting level necessary for night-time safety, utility, security, productivity, enjoyment, and commerce.*
- *Minimize adverse offsite impacts such as sky glow, light overspill and obtrusive light.*
- *Conserve energy and resources to the greatest extent possible.*

Outdoor lighting for the property will be in full compliance with the International Dark Sky association model ordinance objectives and therefore consistent with this Development and Design Consideration.

General Plan: Land Use Element: Historic District Sub Area: Design and Development Considerations, (Page LU-21):

New development in the district shall be compatible in mass, scale and character with the historic context and immediate neighborhood setting.

The existing buildings on the site consist of a fine 1912 craftsman structure and a simple if wholly unremarkable circa 1940s house. The adjoining development to the west is a barbecue restaurant which comprises a number of buildings of varying heights and architectural styles from the historical 19th century Brannan Mausoleum to more recent structures all set within an extensive asphalt parking area backed by landscaped seating areas. The adjoining development to the east has a simple single story building at the front of the lot with a large, modern three story house to the rear. On the opposite side of the street is the corner of the Chevron gas station, the entrance to Elm Street and a simple single story bungalow.

Given this eclectic mix the proposed development has been designed to achieve a complementary style by minimizing the scale of its visual appearance from the roadway and utilizing limited rural and craftsman detailing and style to blend into and complement the surrounding developments. The new structure will be behind the existing properties with limited visibility from the street. The visible mass and scale will be smaller than the adjacent property. The utilization of planted flat roofs, extensive landscaping, muted color scheme and use of natural facing materials will blend the structure into the landscape. The overall appearance of the properties will contribute to an improved appearance for the gateway consistent with Calistoga's small town rural character. Therefore, the proposed development is consistent with this Development and Design Consideration.

Use of historic building materials such as stucco, brick and wood is encouraged.

The proposed project draws from Calistoga's architectural palette to blend natural finishes such as stone, wooden trellises and planted roofs with simple painted surfaces and extensive landscaping. The overall design is intended to almost disappear and thus integrate seamlessly into the built and natural landscape. Therefore, the design is consistent with this Development and Design Consideration.

General Plan: Land Use Element: Foothill Character Area Overlay: Design and Development Considerations, (Page LU-23):

A variety of building setbacks along Foothill Boulevard is encouraged.

The existing building setbacks will be preserved and will therefore, be consistent with this Development and Design Consideration.

All new development must be designed to provide orientation to accommodate vehicles accessing Foothill Boulevard in a forward direction.

The parking has been designed so that all vehicles will access Foothill Boulevard in a forward direction thus ensuring consistency with this Development and Design Consideration.

4. *The application will not impair or interfere with the development, use or enjoyment of other property in the vicinity or the area:*

The use of the property at 1213 Foothill Boulevard as a high quality visitor accommodation will remain unchanged. In considering the potential impact on the vicinity of the extension of this use to the adjacent 1303 Foothill Boulevard site the history of the existing development and a comparison to the surrounding uses is appropriate. The historic Craftsman home at 1213 Foothill Boulevard was renovated and opened as a high quality visitor accommodation in 2007. In the nine continuous years of use relationships with the neighborhood have been excellent and no adverse impacts on the enjoyment or use of any property in the area has occurred. The extension of this existing use will similarly have no adverse impacts on the enjoyment or use of any property in the area. The guests of this type of high end visitor accommodation are typically quiet couples visiting wine country for a relaxing and romantic getaway. It is more likely that the neighboring gas stations, barbecue restaurant and intersection will interfere with the use and enjoyment of the guests than the reverse. Similarly, these existing surrounding uses are far more likely to have an impact on the neighborhood than the extension of the visitor accommodation proposed. Our neighbor to the west is closest to the property. We have designed the project so that he will have private usage rather than shared usage of more of the drive than currently and we will resurface that driveway to improve his access. Therefore, the proposed project will not impair or interfere with the development, use or enjoyment of other property in the vicinity or the area.

Use Permit Findings:

1. The application is in accord with the General Plan and any applicable planned development.

The general nature of the proposed development, as an expanded high-quality visitor accommodation, was found to be consistent with General Plan when the Planning Commission recommended and the City Council approved the change in zoning and land use designation to Downtown Commercial.

The rationale for this finding was primarily that the project would be most consistent with the General Plan as one consolidated property and business enabling more efficient use of parking, and a cohesive architectural approach as required by the General Plan Land Use Elements

Both properties are within the Entry Corridor 3: *Lincoln Avenue at Foothill Boulevard* General Plan overlay land use designation. 1213 Foothill Boulevard is also within the Lincoln Avenue/Foothill Boulevard Gateway Overlay. Relevant land use considerations within the General Plan Land Use Element of the general plan include:

-“Retain enhance and complement the existing conforming retail, commercial, artisan and lodging establishments in the gateway.

-The defining streetscape elements of the Historic District of the Downtown Character Area should be extended to the Lincoln/Foothill intersection and along Foothill Boulevard east to Pine Street and West to Elm Street.

-As opportunities present themselves enhance the appearance of properties in this area and coordinate improvements...”

Given these requirements of the General Plan, the proposed project is consistent with the General Plan zoning and land use elements in general and will ensure a cohesive development which will

enhance and complement the appearance of the gateway as required by the applicable specific General Plan overlay element.

1. *Is in accord with all applicable provisions of this title:*

a. *The site is physically suitable for the type and density of development.*

The site is approximately 0.6 acres and slopes to the adjoining hillside. The proposed design takes the site conditions into consideration and is suitable for the site.

b. *The proposed development has been reviewed in compliance with the California Environmental Quality Act (CEQA) and that the project will not result in detrimental or adverse impacts upon the public resources, wildlife or public health, safety and welfare.*

We are not aware of any aspect of the project that would result in detrimental or adverse impacts on public resources, wildlife or public health safety and welfare. We believe that the project is exempt from any requirements under the California Environmental Quality Act

c. *Approval of the use permit application will not cause adverse impacts to maintaining an adequate supply of public water and an adequate capacity at the wastewater treatment facility.*

Extensive use of low water usage fixtures, native landscaping and out of town (Santa Rosa) laundry will all help to minimize the additional impact of the development. Therefore, approval of the use permit will not cause adverse impacts on maintaining an adequate supply of public water and an adequate capacity at the wastewater treatment facility.

d. *Approval of the use permit application shall not cause the extension of service mains greater than 500 feet.*

No extension to the service mains greater than 500 feet will occur as a result of approving the use permit for the proposed development.

a. *An allocation for water and/or wastewater service pursuant to Chapter 13.16 CMC (Resource Management System) shall be made prior to project approval. Said allocation shall be valid for one year and shall not be subject to renewal.*

An application for water and wastewater service will be made.

3. *Will not substantially impair or interfere with the development, use or enjoyment of other property in the vicinity.*

a. The use of the property at 1213 Foothill Boulevard as a high quality visitor accommodation will remain unchanged. In considering the potential impact on the vicinity of the extension of this use to the adjacent 1303 Foothill Boulevard site the history of the existing development and a comparison to the surrounding uses is appropriate. The historic Craftsman home at 1213 Foothill Boulevard was renovated and opened as a high quality visitor accommodation in 2007. In the nine continuous years of use relationships with the neighborhood have been excellent and no adverse impacts on the enjoyment or use of any property in the area has occurred. The

extension of this existing use will similarly have no adverse impacts on the enjoyment or use of any property in the area. The guests of this type of high end visitor accommodation are typically quiet couples visiting wine country for a relaxing and romantic getaway. It is more likely that the neighboring gas stations, barbecue restaurant and intersection will interfere with the use and enjoyment of the guests than the reverse. Similarly, these existing surrounding uses are far more likely to have an impact on the neighborhood than the extension of the visitor accommodation proposed. Our neighbor to the west is closest to the property. We have designed the project so that he will have private usage rather than shared usage of more of the drive than currently and we will resurface that driveway to improve his access. Therefore, the proposed project will not impair or interfere with the development, use or enjoyment of other property in the vicinity or the area.

4. *Is consistent with and enhances Calistoga's history of independently owned businesses, thus contributing to the uniqueness of the town, which is necessary to maintain a viable visitor industry and promote its economy.*
 - a. *The proposed development presents a scale and design which are in harmony with the historical and small-town character of Calistoga.*

As shown in the accompanying Design Review responses the proposed development presents a scale and design in harmony with the historical and small town character of Calistoga.

- b. *The proposed development be consistent with and enhance Calistoga's history of independent, unique, and single location businesses, thus contributing to the uniqueness of the town, which is necessary to maintain a viable visitor industry in Calistoga and to preserve its economy.*

The proposed development represents an expansion of an existing independent, unique, single location business and will therefore meet this requirement.

- c. *The proposed development complements and enhances the architectural integrity and eclectic combination of architectural styles of Calistoga.*

Most of the proposed development will not be visible from the public roadway. However, the overall design and the small visible aspects will complement and enhance the architectural landscape as described more fully in the Design review questionnaire responses.

We respectfully request approval of our applications at the earliest convenience of the Planning Commission and would be happy to provide answers to any questions the commissioners may have.

Yours sincerely,

Nicholas and Gillian Kite

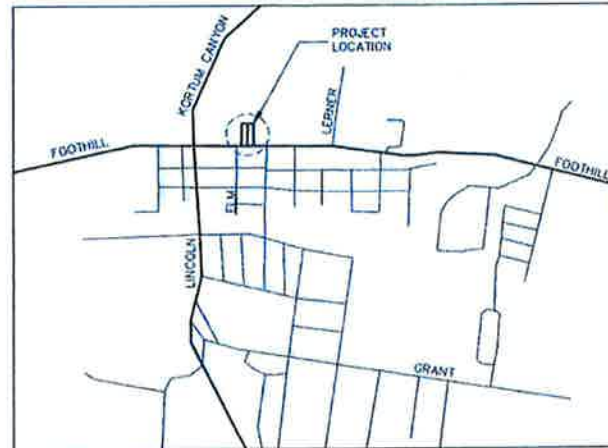
Nick Kite

nickkite@aol.com

408 981 4031

Craftsman Inn Remodel & Expansion

VICINITY MAP



OPEN SPACE CALCULATION

MAIN LEVEL:	
COURTYARD, WALKWAYS, OPEN DECKS, RAMP, STAIRS =	2,932 S.F.
NEW & EXISTING LANDSCAPE =	4,443 S.F.
SECOND LEVEL:	
WALKWAYS & GARDENS =	930 S.F.
GARDEN ROOF =	2,547 S.F.
UPPER TERRACE:	
WALKWAYS & GARDENS =	916 S.F.
GARDEN ROOF =	1,887 S.F.
OPEN SPACE =	13,635 S.F.
LOT SIZE=	26,383 S.F.

PROPOSED OPEN SPACE = 13,635 / 26,383 = .52 x 100 =	52%
MINIMUM OPEN SPACE = 10,553 / 26,383 = .40 x 100 =	40%

LOT COVERAGE CALCULATION

BUILDING FOOTPRINT =	8,662 S.F.
LOT SIZE=	26,383 S.F.

PROPOSED LOT COVERAGE = 8,662 / 26,383 = .33 x 100 =	33%
MAXIMUM LOT COVERAGE = 21,106 / 26,383 = .80 x 100 =	80%

FLOOR AREA RATIO CALCULATION

BASEMENT LEVEL:	
EXISTING BASEMENT LEVEL	1200 S.F.
MAIN LEVEL:	
EXISTING 1213 CRAFTSMAN INN =	2000 S.F.
EXISTING 1303 STRUCTURE =	700 S.F.
SPA TREATMENT AREA (CONDITIONED) =	1,202 S.F.
KITCHEN AND DINING =	1,122 S.F.
SECOND LEVEL:	
EXISTING CRAFTSMAN INN (CONDITIONED) =	1303 S.F.
4 GUEST ROOMS (CONDITIONED) =	2,100 S.F.
UPPER TERRACE:	
3 ROOMS (CONDITIONED) =	1,447 S.F.
TOTAL FLOOR AREA =	11,074 S.F.
LOT SIZE=	26,383 S.F.

PROPOSED FLOOR AREA RATIO = 11,074 / 26,383 = .42 = 42%	
MAXIMUM FLOOR AREA RATIO = 52,766 / 26,383 = 2.0 = 200%	

PROJECT DESCRIPTION

EXISTING CRAFTSMAN INN STRUCTURE TO REMAIN. ONE ROOM AT MAIN LEVEL TO BE CONVERTED TO A RECEPTION. KITCHEN TO BE REMODELED INTO AN ADA GUEST UNIT. EXTERIOR PORCH STAIRS TO BE REMOVED TO EXPAND THE DRIVEWAY. FIVE ROOMS TO REMAIN AT EXISTING CRAFTSMAN INN.

EXISTING UNIT AT 1303 Foothill Blvd. TO REMAIN. UNIT TO BE REMODELED AND CONVERTED TO A FULLY ACCESSIBLE GUEST SUITE.

A NEW STRUCTURE IS PROPOSED TO INCLUDE A KITCHEN AND THE GUEST DINING AREA.

A NEW STRUCTURE IS PROPOSED TO INCLUDE A COUPLES TREATMENT ROOM, HEATED TUB, AND OUTDOOR LOUNGE AREA AT THE MAIN LEVEL. THIS WILL BE EXCLUSIVE TO GUESTS. FOUR GUEST UNITS ARE PROPOSED ON THE SECOND LEVEL AND THREE UNITS ARE PROPOSED ON THE UPPER TERRACE.

CONTACT INFO

OWNER:
NICK & GILLIAN KITE
EMERALD DR.
CALISTOGA, CA 94515
PHONE: (408) 981-4031

LANDSCAPE DESIGNER:
SUSIE DOWD-MARKARIAN
808 LOS OLIVOS RD.
SANTA ROSA, CA 95404
PHONE: (707) 537-0508

ARCHITECT:
DAVID MACNEILL
1929 VALENCIA ST.
NAPA, CA 94558
PHONE: (530) 414-1372

SURVEYOR:
HOGAN LAND SERVICES
1702 4TH ST.
SANTA ROSA, CA 95404
CONTACT: ADAM RIVERA
PHONE: (707) 544-2104

AREA CALCULATIONS

LOT SIZE:	
1213 Foothill Blvd.	13,159 S.F.
1303 Foothill Blvd.	13,224 S.F.
TOTAL LOT SIZE	(.61 ACRE) 26,383 S.F.

BASEMENT LEVEL:	
EXISTING BASEMENT LEVEL	1200 S.F.

MAIN LEVEL:	
EXISTING 1213 CRAFTSMAN INN =	2000 S.F.
EXISTING 1303 STRUCTURE =	700 S.F.
SPA TREATMENT AREA (CONDITIONED) =	1,202 S.F.
LOUNGE GARDEN (UNCONDITIONED) =	280 S.F.
STORAGE, LAUNDRY, EQUIPMENT (UNCONDITIONED) =	849 S.F.
ELEVATOR =	87 S.F.
COURTYARD, WALKWAYS, DECKS, RAMP, STAIRS =	3,734 S.F.
KITCHEN AND DINING =	1,122 S.F.
ASPHALT PAVING =	8,700 S.F.
LANDSCAPING =	1,133 S.F.
D.G. OR COLORED CONCRETE WALKWAYS =	732 S.F.

PROJECT INFO

PROJECT ADDRESS:
1213 & 1303 Foothill Blvd.
CALISTOGA, CA 94515

ASSESSOR PARCEL NUMBERS:
1213 Foothill Blvd. APN: 011-310-005-000
1303 Foothill Blvd. APN: 011-310-004-000

ZONING:
1213 Foothill Blvd. : DOWNTOWN COMMERCIAL
1303 Foothill Blvd. : DOWNTOWN COMMERCIAL

GUEST ROOMS:
8 ROOMS AT EXISTING CRAFTSMAN INN
1 ROOM PROPOSED AT EXISTING 1303 Foothill Blvd. STRUCTURE
7 ROOMS PROPOSED AT NEW STRUCTURE
13 GUEST ROOMS TOTAL

PARKING:
1.1 x TOTAL UNITS + 2 UNITS FOR OWNER + 1 UNIT FOR MANAGER =
17 TOTAL PARKING SPACES (INCLUDES 1 H.C. PARKING SPACE)
33% OF TOTAL SPACES CAN BE COMPACT SPACES.

PARKING SUMMARY:

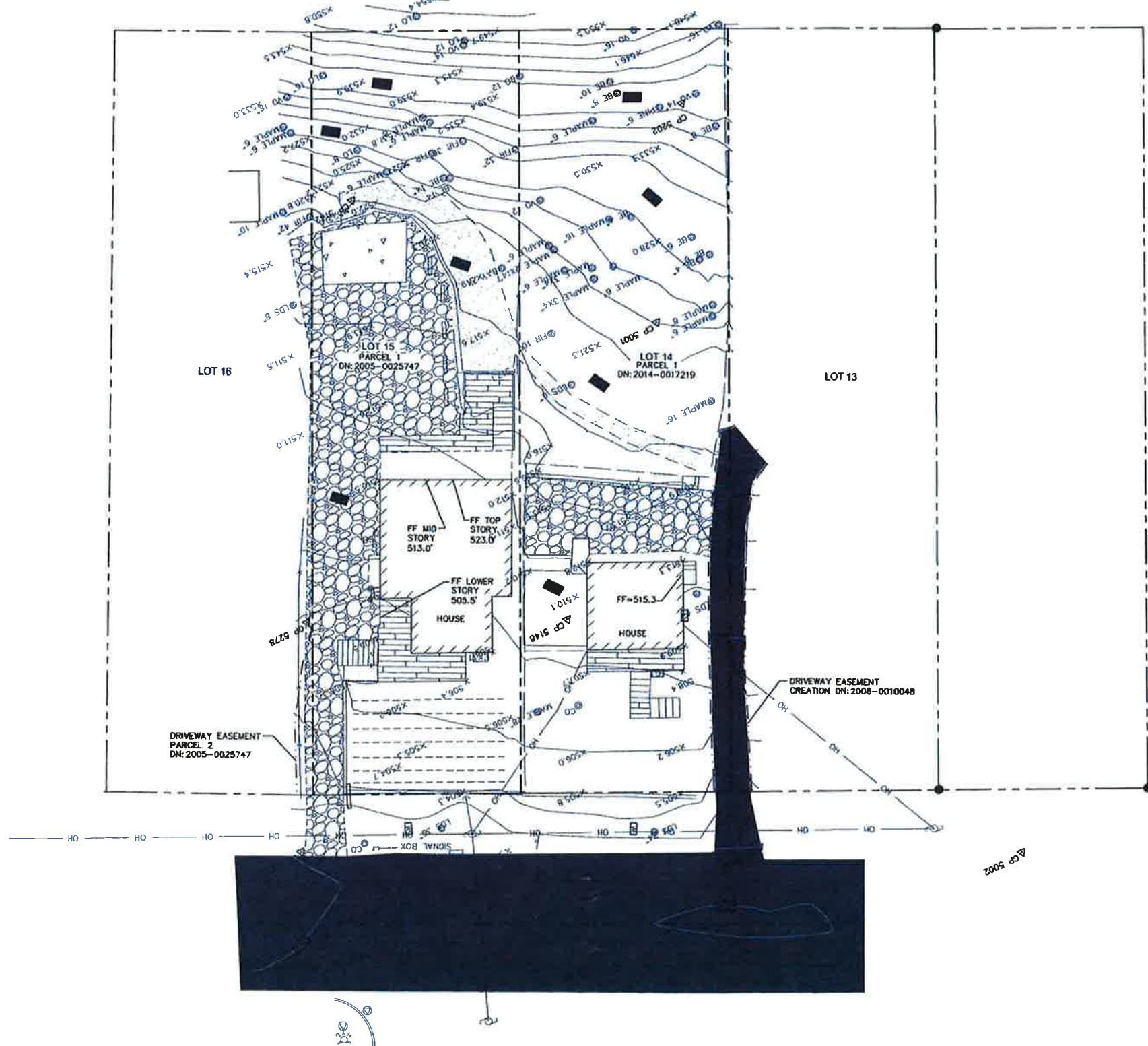
- 11 STANDARD SPACES
- 1 VAN ACCESSIBLE PARKING
- 5 COMPACT PARKING SPACES

SECOND LEVEL:	
EXISTING CRAFTSMAN INN (CONDITIONED) =	1303 S.F.
4 GUEST ROOMS (CONDITIONED) =	2,100 S.F.
WALKWAYS & GARDENS (UNCONDITIONED) =	930 S.F.
GARDEN ROOF =	2,547 S.F.
UPPER TERRACE:	
3 ROOMS (CONDITIONED) =	1,447 S.F.
WALKWAYS & GARDENS (UNCONDITIONED) =	916 S.F.
GARDEN ROOF =	1,887 S.F.

RECEIVED

JUN 28 2016

CITY OF CALISTOGA



LEGEND

	RECORD BOUNDARY LINE
	RECORD ADJOINING BOUNDARY LINE
	RECORD EASEMENT LINE
	EDGE OF CONCRETE
	EDGE OF ASPHALT CONCRETE
	EDGE OF ROAD
	EDGE OF BUILDING
	BUILDING OVERHANG
	WOOD FENCE
	WIRE FENCE
	CHAINLINK FENCE
	MINOR CONTOUR
	MAJOR CONTOUR
	ASPHALT CONCRETE SURFACE
	GRAVEL SURFACE
	CONCRETE SURFACE
	DECKING
	DIRT SURFACE

SYMBOLS

	FIRE HYDRANT
	WATER VALVE
	POWER POLE W/ GUY ANCHOR
	WATER METER
	ELECTRIC METER
	GAS METER
	SEWER CLEAN OUT
	SIGN
	CONTROL POINT
	FOUND 1/2" IRON PIPE AS NOTED
	SPOT ELEVATION
	TREE TYPE & DIA

ABBREVIATIONS

VO	VALLEY OAK
LO	LIVE OAK TREE
FR/FR	FIR TREE
PN/PINE	PINE TREE
MAPLE	MAPLE TREE
BE	BUCK EYE
LDS	LANDSCAPE TREE
CLST	CLUSTER
FF	FINISH FLOOR
SS	SANITARY SEWER
CO	CLEAN OUT

Architect:
David MacNeill
 1929 Valencia St.
 Napa, CA 94558
 (530) 414-1372

**Craftsman Inn
 Remodel & Expansion**
 1213 & 1303 Foothill Blvd., Callistoga, CA 94515
 APN:

Drawn By	
Date	
Scale	
Job No.	
Substation / Revision	
11.03.15	LANDSCAPE MEETING

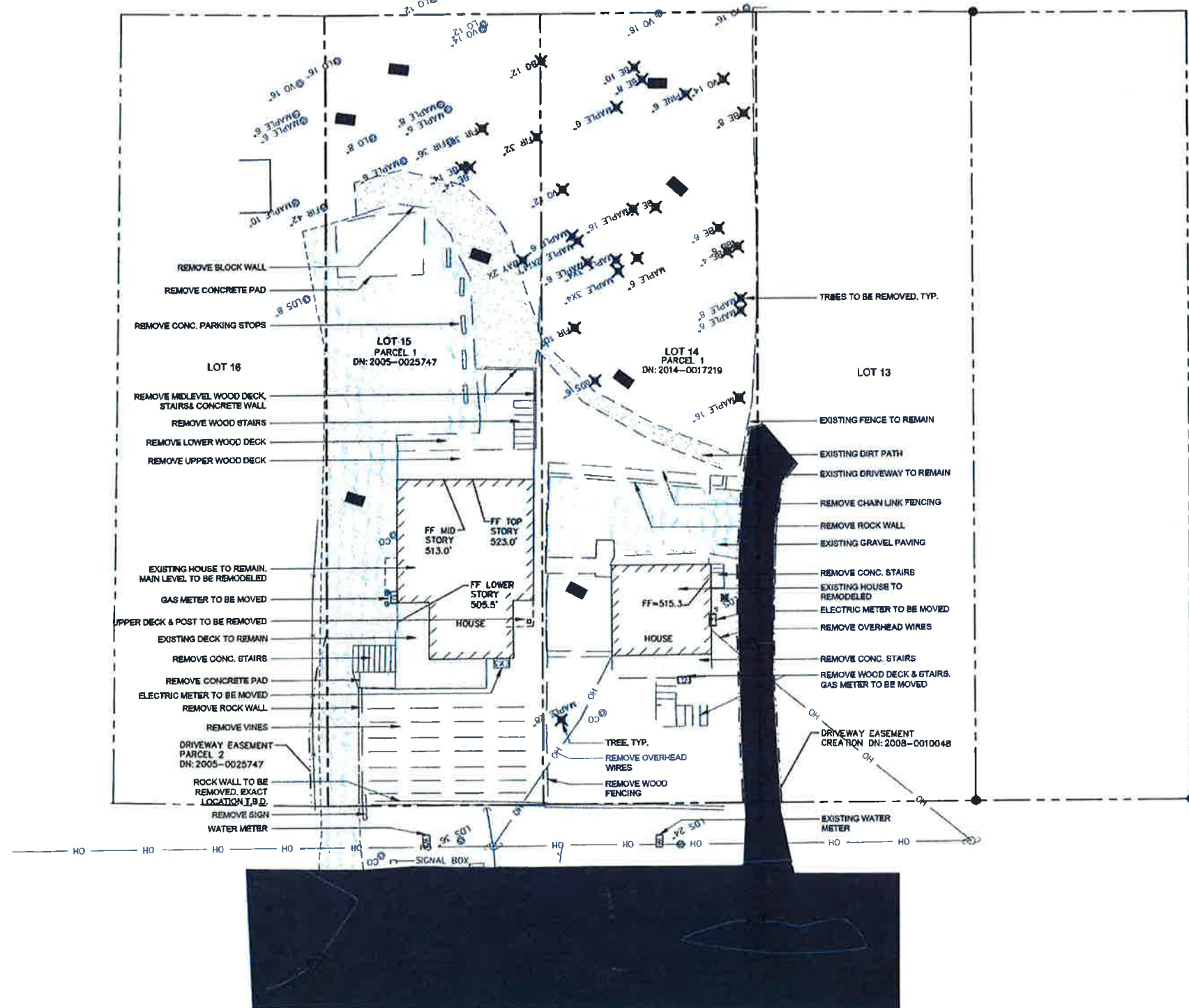
Sheet Name
 SURVEY

Sheet No.
A1.0

1 Existing Site Plan
 SCALE: 1/16"=1'



Architect:
David MacNeill
 1929 Valencia St.
 Napa, CA 94558
 (530) 414-1372



LEGEND

---	RECORD BOUNDARY LINE
---	RECORD ADJOINING BOUNDARY LINE
---	RECORD EASEMENT LINE
---	EDGE OF CONCRETE
---	EDGE OF ASPHALT CONCRETE
---	EDGE OF ROAD
---	EDGE OF BUILDING
---	BUILDING OVERHANG
---	WOOD FENCE
---	WIRE FENCE
---	CHAINLINK FENCE
---	MINOR CONTOUR
---	MAJOR CONTOUR
---	ASPHALT CONCRETE SURFACE
---	GRAVEL SURFACE
---	CONCRETE SURFACE
---	DECKING
---	DIRT SURFACE

SYMBOLS

XX	FIRE HYDRANT
⊕	WATER VALVE
⊕	POWER POLE W/ GUY ANCHOR
⊕	WATER METER
⊕	ELECTRIC METER
⊕	GAS METER
⊕	SEWER CLEAN OUT
⊕	SIGN
⊕	CONTROL POINT
⊕	FOUND 1/2" IRON PIPE AS NOTED
⊕	SPOT ELEVATION
⊕	TREE TYPE & DIA

ABBREVIATIONS

VO	VALLEY OAK
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BE	BUCK EYE
LDS	LANDSCAPE TREE
CLST	CLUSTER
FF	FINISH FLOOR
SS	SANITARY SEWER
CO	CLEAN OUT

- DEMOLITION NOTES**
- 1) THE CONTRACTOR IS TO REVIEW IN DETAIL THE EXISTING STRUCTURE AND ALL FIXTURES, AND IS TO VERIFY ALL EXISTING AND NEW DIMENSIONS. IF THERE ARE ANY DISCREPANCIES, HE SHALL NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.
 - 2) THE CONTRACTOR SHALL TAKE PROPER CARE IN RETAINING ALL EXISTING CONDITIONS OF THE SITE. THE CONTRACTOR IS TO VERIFY WITH THE OWNER AND ARCHITECT ALL ELEMENTS AND MATERIALS TO BE SAVED, RE-USED, OR DEMOLISHED, AND PROVIDE A SCHEDULE OF PROPOSED DEMOLITION. SEE DRAWINGS AND NOTES FOR ADDITIONAL CLARIFICATIONS.
 - 3) THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL DEMOLISHED ITEMS AND WASTE MATERIALS FROM THE SITE WEEKLY.
 - 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THESE DRAWINGS.
 - 5) REFER TO SITE PLAN, FLOOR PLANS, ELEVATIONS, SECTIONS, DETAILS, AND SCHEDULES TO COORDINATE EXTENT OF DEMOLITION WORK.
 - 6) THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL SITE SPECIFICATIONS FOR THE PROJECT.

**Craftsman Inn
 Remodel & Expansion**

1213 & 1303 Foothill Blvd., Calistoga, CA 94515
 APN:

Drawn by:	
Scale:	
Job No.:	
Submittals / Revisions:	
06.21.18	HS Y&V

Sheet Name
DEMO PLAN

Sheet No.
A1.1

Architect:
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Napa, CA 94558
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Craftsman Inn Remodel & Expansion

1213 & 1303 Foothill Blvd., Calistoga, CA 94515
APN:

Drawn by	
Date	
Scale	
Job No.	
Submittals / Revisions	
08/21/15	REVISION

Sheet Name
SITE PLAN

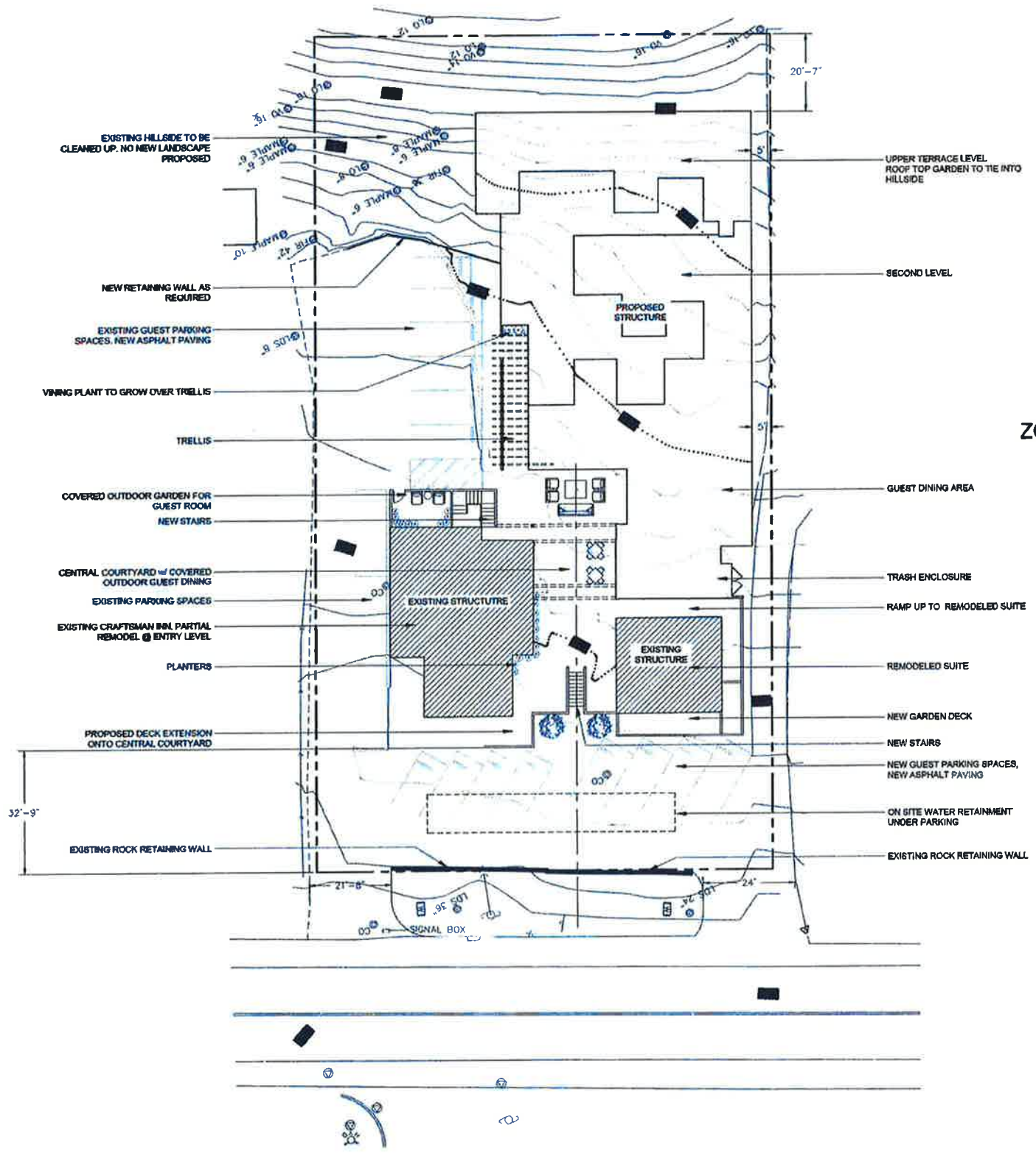
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A1.2

ZONING: DC

ZONING: RR-H

ZONING: R-1-10

ZONING: R-3



1 Proposed Site Plan
SCALE: 1/16"=1'



Architect
 David MacNeill
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 Napa, CA 94558
 (530) 414-1372

Craftsman Inn Remodel & Expansion

1213 & 1303 Foothill Blvd., Calistoga, CA 94515
 APN:

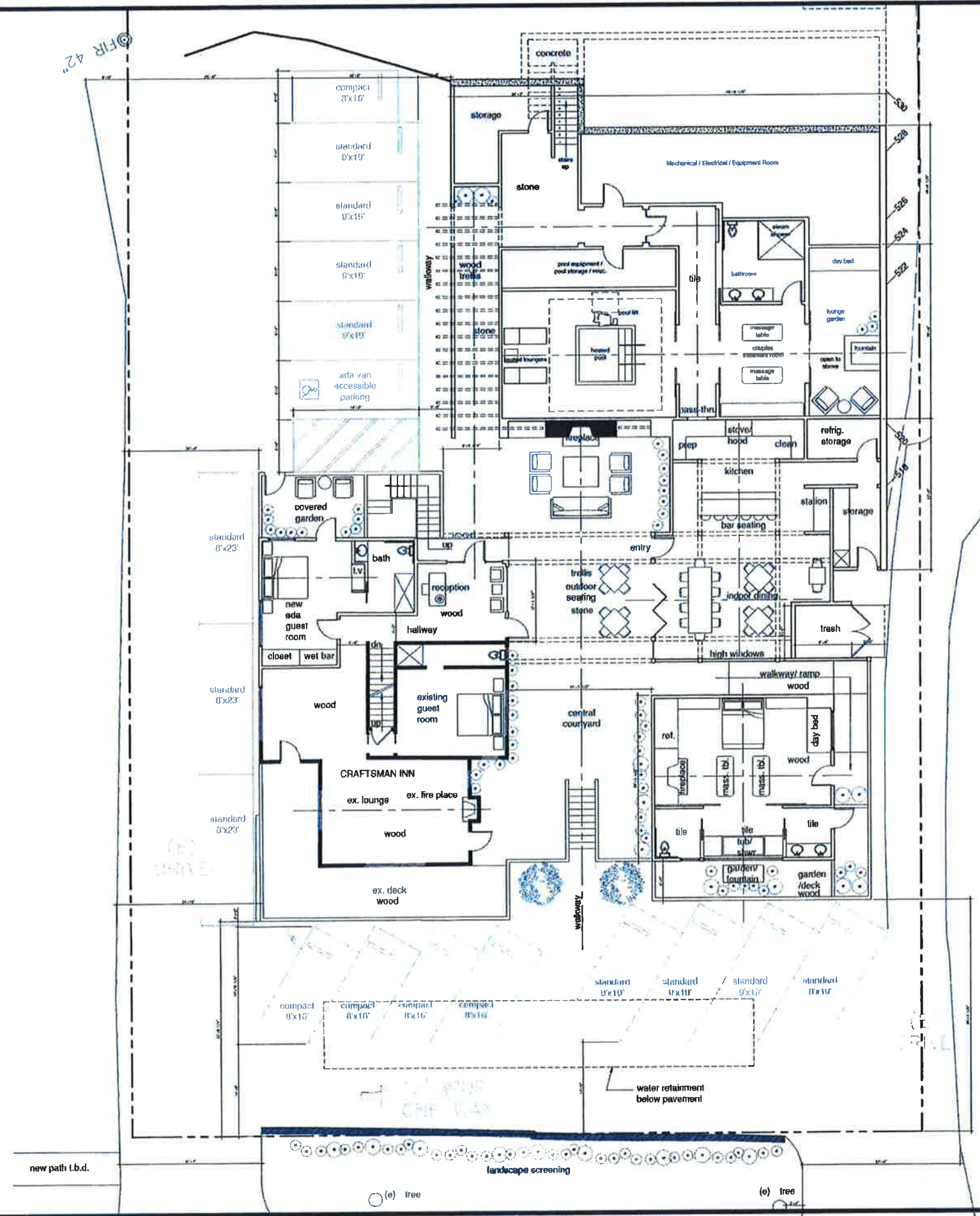
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Job No.	
Submittals / Revisions	
05.21.18	REVISED

Sheet Name
 FLOOR
 PLAN

Sheet No.

A2.0

1 Proposed Entry Level
 SCALE: 1/8"=1'



new path l.b.d.

(e) tree

(e) tree

Architect:
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(530) 414-1372

Craftsman Inn Remodel & Expansion

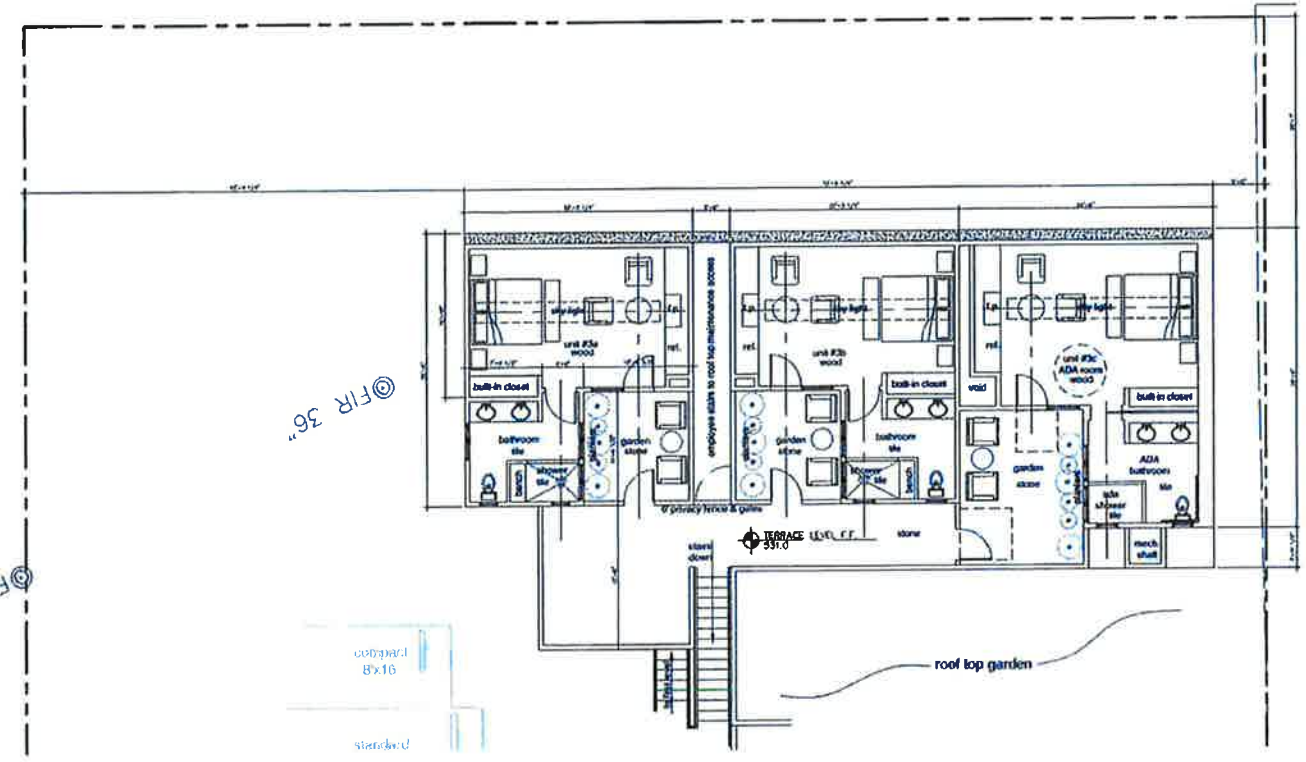
1213 & 1303 Foothill Blvd., Calistoga, CA 94515
APN:

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Job No.	
Submittals / Revisions	
09.21.18	REVISION

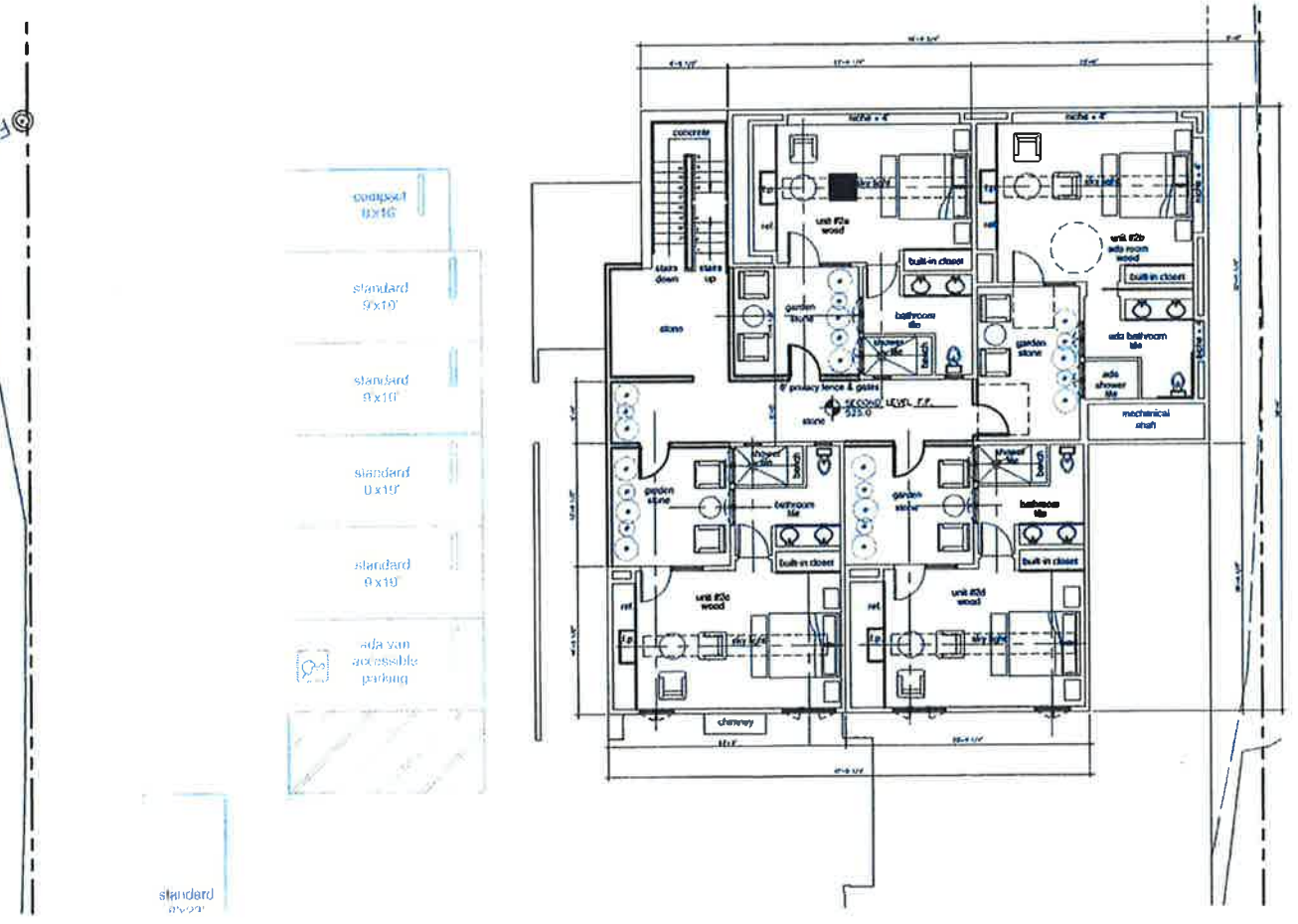
Sheet Name
FLOOR
PLAN

Sheet No.

A2.1



1 Proposed Upper Terrace Level
SCALE: 1/8"=1'



1 Proposed Second Level
SCALE: 1/8"=1'

© FIR 36"

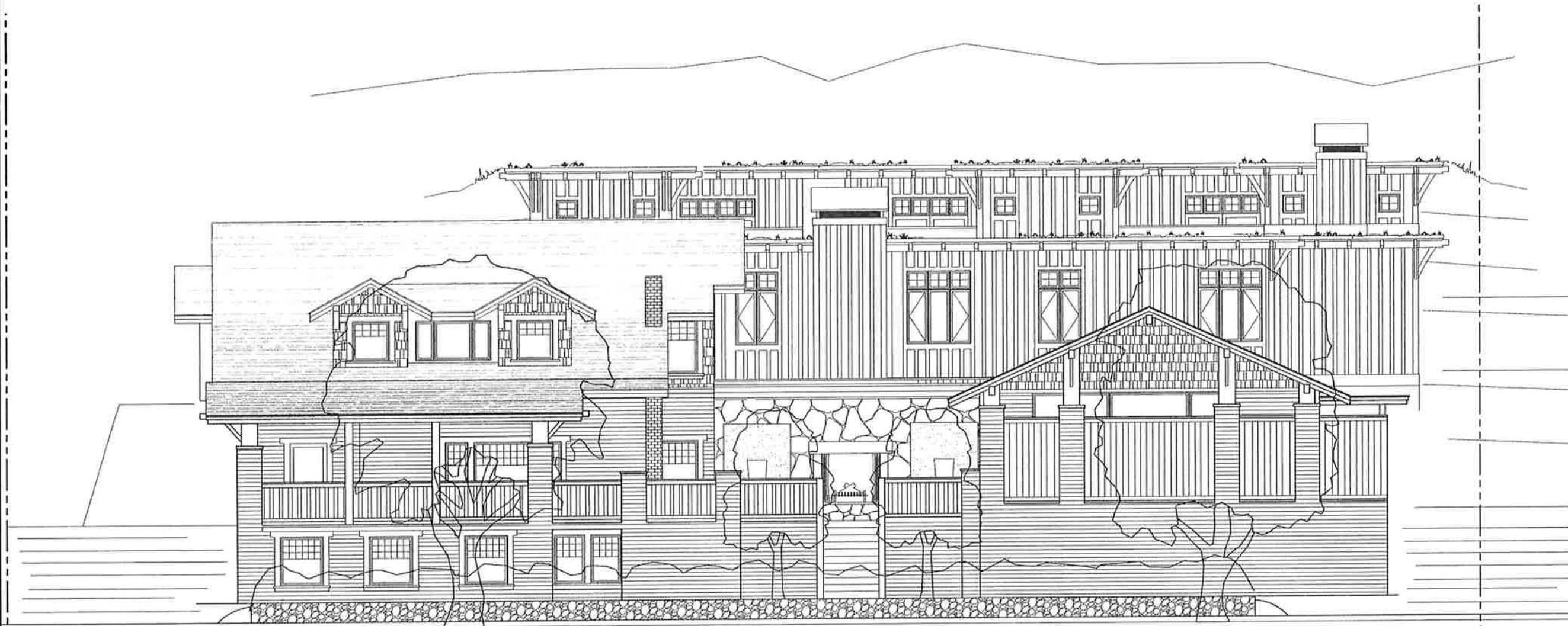
© FIR 42"

© FIR 42"

- standard 8'x10'
- standard 9'x10'
- standard 10'x10'
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- standard 96'x10'
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- standard 99'x10'
- standard 100'x10'

standard 11'x10'

Architect:
David MacNeill
1929 Valencia St.
Napa, CA 94558
(530) 414-1372



1 Proposed North Elevation
SCALE: 1/4"=1'

Craftsman Inn
Remodel & Expansion

1213 & 1303 Foothill Blvd., Calistoga, CA 94515
APN:

Drawn by	
Check	
Scale	
Job No.	
Submittals / Revisions:	
06.21.15	REVIEW

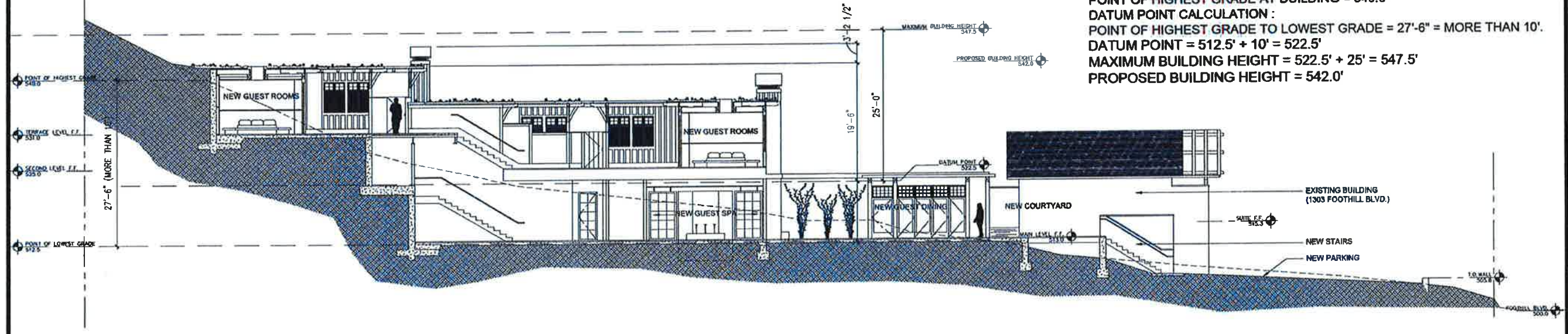
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ELEVATIONS

Sheet No.
A3.0

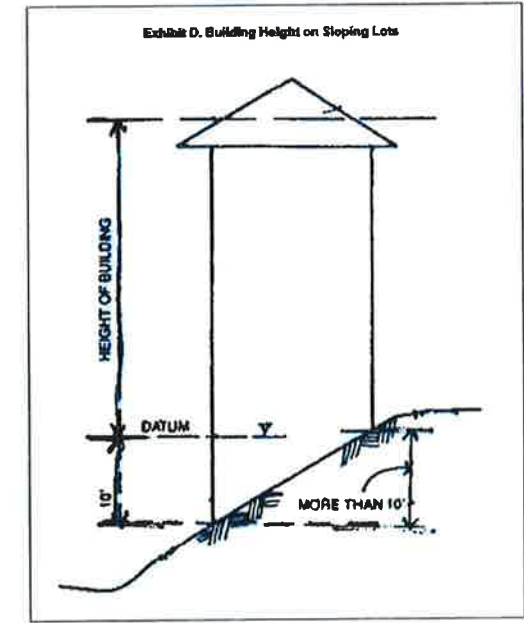
Architect:
David MacNeill
1929 Valencia St.
Napa, CA 94558
(530) 414-1372

HEIGHT CALCULATIONS

PER CMC 17.38.030 EXHIBIT D. BUILDING HEIGHT ON SLOPING LOTS
 PER CMC 17.21.060. 25' MAXIMUM BUILDING HEIGHT
 POINT OF LOWEST GRADE AT BUILDING = 512.5'
 POINT OF HIGHEST GRADE AT BUILDING = 540.0'
 DATUM POINT CALCULATION:
 POINT OF HIGHEST GRADE TO LOWEST GRADE = 27'-6" = MORE THAN 10'.
 DATUM POINT = 512.5' + 10' = 522.5'
 MAXIMUM BUILDING HEIGHT = 522.5' + 25' = 547.5'
 PROPOSED BUILDING HEIGHT = 542.0'



1 N-S SECTION
SCALE: 1/8"=1'



**Craftsman Inn
Remodel & Expansion**

1213 & 1303 Foothill Blvd., Calistoga, CA 94515

Drawn by	
Date	
Scale	
Job No.	
Submittal / Revisions	
05.21.15	REV

Sheet Name
SECTIONS

Sheet No.
A3.2



City of Calistoga
Planning Commission
Agenda Item Summary

DATE	August 24, 2016
ITEM	Craftsman Inn Expansion Use Permit UP 2016-4 Design Review DR 2016-12
APPLICANTS / OWNERS	Nicholas and Gillian Kite
STAFF CONTACT	Erik V. Lundquist, Senior Planner
POTENTIAL CONFLICTS	None
RECOMMENDATION	Adopt a resolution approving the use permit and design review applications with conditions.
SUGGESTED MOTION	"I move that the Planning Commission adopt a resolution approving use permit and design review applications to expand the existing 5-unit bed and breakfast to a 13 unit hotel and spa, exclusively for guest use, at 1213 and 1303 Foothill Boulevard."

CITY OF CALISTOGA

STAFF REPORT

TO: CALISTOGA PLANNING COMMISSION
FROM: ERIK V. LUNDQUIST, SENIOR PLANNER
MEETING DATE: AUGUST 24, 2016
SUBJECT: CRAFTSMAN INN EXPANSION (UP 2016-4, DR 2016-12)
1213 & 1303 FOOTHILL BOULEVARD

ITEM

Consideration of use permit and design review applications to expand the existing 5-unit bed and breakfast to a 13-unit hotel and spa, exclusively for guest use at 1213 and 1303 Foothill Boulevard.

BACKGROUND / PROJECT DESCRIPTION

Nicholas and Gillian Kite own the properties located at 1213 and 1303 Foothill Boulevard. The property located at 1213 Foothill Boulevard is established with the Craftsman Inn, a 5-unit bed and breakfast. On November 18, 2010, the Planning Commission adopted Resolution 2010-16 eliminating the owner/manager residence requirement for the business. Their property located at 1303 Foothill Boulevard is established with a single-family residence.

In 2015, the City redesignated the properties from the Low Density Residential to the Downtown Commercial General Plan land use designation and rezoned the properties from the R-1-10 One-Family Residential to the DC Downtown Commercial Zoning District.

As indicated in the property owner's written narrative dated June 28, 2016, the property owners express a desire to combine the properties and expand the Craftsman Inn. The proposal is to merge the properties so they function as one, integrating the structure at 1303 Foothill Boulevard into the guest experience and adding new structures and amenities. The operation would be considered a hotel instead of a bed and breakfast.

The single-family residence at 1303 Foothill would be converted to a new ADA-compliant guest suite. The existing manager's unit in the basement of the Craftsman Inn would be retained and the first floor remodeled, removing the kitchen to accommodate a new ADA guest room and reception area. This original building would have five guest units. A new structure would be constructed at the rear of these buildings that would provide seven additional units and guest amenities, including a spa, kitchen and dining area for breakfast service and occasional small meetings or events. These amenities are exclusively for guest use.

PROJECT SETTING

The property is located near one of Calistoga's key intersections, Lincoln Avenue and Foothill Boulevard. The existing buildings on the site consist of a 1912 Craftsman-style structure and a simple understated 1940s house. The adjoining development to the west is a barbecue restaurant which comprises a number of buildings of varying heights and architectural styles from the historic 19th century Brannan Mausoleum to more recent structures all set within an extensive asphalt parking area backed by landscaped seating areas. The adjoining development to the east has a simple single story building at the front of the lot with a large, modern three story house to the rear. Behind the property to the south are upsloping vacant lands zoned Rural Residential-Hillside. On the opposite side of the street is the corner of the Union 76 gas station, the entrance to Elm Street and a simple single story bungalow.



1213 and 1303 Foothill Boulevard

DISCUSSION

A. General Plan Consistency

Land Use Designation: The General Plan designation for the property is Downtown Commercial, which allows the establishment of businesses for visitors and residents. The Downtown Character Area and Lincoln Avenue/Foothill Boulevard Gateway overlays, which also apply to the properties, encourage and support a diversity of land uses, including visitor accommodations.

Given the eclectic mix of surrounding design styles, the proposed development has been designed to achieve a complementary style by minimizing the scale of its visual appearance from the roadway and utilizing limited rural and Craftsman detailing and style to blend into and complement the surrounding developments. The new structure will be behind the existing properties with limited visibility from the street. The visible mass and scale will be smaller than the adjacent property. The utilization of planted flat roofs, extensive landscaping, muted color scheme and use of natural facing materials will blend the structure into the landscape. The overall appearance of the properties will contribute to an improved appearance for the gateway consistent with Calistoga's small town rural character. Therefore, the proposed development is consistent with the General Plan's development and design considerations.

Economic Development: Allowing guest accommodations would be consistent with General Plan Objective ED-1.1, which encourages the City to support the lodging industry since it generates the largest percentage of employment and one-half of the City's General Fund revenue.

Housing Element: Policy P3.1-1 of the Housing Element states that the City shall, "discourage the loss of housing by new development, expansion of development and conversion to non-residential uses." This project would result in the loss of the housing unit located at 1303 Foothill Boulevard. Staff and the applicants worked together through the preliminary design process in an effort to retain the residence on-site but concluded that the mix of visitor accommodation and a rental unit was not a viable solution. As such, staff and the applicant have agreed that the payment of \$12,000 is appropriate to mitigate and/or offset the loss of this housing unit. The funds would be deposited into the City's affordable housing fund, which would be used to leverage other funding to develop affordable housing. Staff believes this is consistent with the General Plan policies.

B. Zoning Ordinance Compliance

Allowed Uses

The project site is located within the DC Downtown Commercial Zoning District. The intent of the DC District is to implement the Downtown Commercial land use designation of the General Plan. A hotel is a conditionally-permitted use in the DC District. The use permit process provides an opportunity for the Planning Commission to evaluate each project individually and assure compatibility with existing uses and development standards for the zoning district.

Development Standards

As shown below, setbacks for the proposed project are consistent with current zoning regulations.

Development Standard per Zoning Code (DC District)		Project	Compliant
Minimum front yard	0 feet or 20 feet when across the street from a residential district	32'-9"	Yes

Minimum interior side yard	0 feet or 5 feet when abutting a residential district	> 5'	Yes
Minimum rear yard	0 feet or 10 feet when abutting a residential district	20'-7"	Yes
Maximum lot coverage	80%	33%	Yes
Maximum building height	30 feet or 25 feet when abutting a residential district	< 25'	Yes
Maximum number of stories	2 or 3, if authorized by the Planning Commission	2 stories	Yes
Required parking	1.1 space per hotel unit + 1 space for manager 2 spaces for manager's unit	17 spaces	Yes

Parking and Circulation

The Zoning Code requires 17 parking spaces, including 1 handicap parking space for the project. Eight angled parking spaces would be provided toward the front of the property, three along the side of the existing structure and six behind the hotel. The proposed parking meets the location and size criteria.

The proposed parking areas would be surfaced with asphalt and two new commercial driveway approaches would be constructed. Rather than construct a new sidewalk across the frontage, staff and the applicant agree that a sidewalk across the adjoining property (Buster's Bar-be-que) would achieve the desired connectivity to the site from the downtown. As such, a condition of approval requires that the sidewalk be constructed from the western crosswalk at the intersection of Foothill and Lincoln to the project site, subject to the review and approval of the Public Works Department and Caltrans.

Design Review

In order to maintain and enhance Calistoga's small-town character and the urban design quality of the downtown, development in the DC District shall be guided by relevant policies of the General Plan's Community Identity Element and the character areas, gateways and entry corridors of the Land Use Element. Staff believes that the proposed project is consistent with all of these relevant design guidelines.

Drawing inspiration from the advice of the Calistoga General Plan, the tiered/terraced architecture has been chosen to create a small visual footprint that blends smoothly into the existing development pattern to create an attractive addition to the Entry Corridor streetscape with an understated visual appearance. Overall, the site layout, architecture, and setbacks have been used to create a soft visual appearance from the roadway. The new structure will be behind the existing properties with limited visibility from the street. The visible mass and scale will be smaller than the adjacent property. The utilization of planted flat roofs, extensive landscaping, muted color scheme and use of natural facing materials will blend the structure into the landscape enhancing the

country town appearance of the entry corridor. Therefore, the design is consistent with Calistoga's small-town character and the urban design quality of the downtown, which is consistent with the design guidelines of the General Plan Community Identity Element and the character areas, gateways and entry corridors of the Land Use Element.

The proposed project incorporates the following traditional Craftsman-style design features common to old town Calistoga:

- low-pitched hipped roof system and horizontal siding (guest suite)
- wood vertical board and batten siding pattern
- wide window and door casings
- tapered porch supports
- exposed rafters and/or decorative (false) rafters
- triangular knee brace supports/brackets

Moreover, the proposed project's landscaping plan would feature native northern California drought-tolerant planting of ground covers, grasses, and trees with a restrained color scheme. To minimize the visual impact of on-site vehicles from the street, a rock retaining wall and landscaping would screen the public's view of on-site parking and private improvements. The living roofs would also provide visual interest and soften the architectural elements, which would also create a distinction between the original Craftsman-style house and the newer buildings.

C. Growth Management

The properties carry a baseline of 1.36 acre feet of water and 0.867 acre feet of wastewater annually. The Public Works Department has indicated that an additional 1.36 acre feet of water and 1.20 acre feet of wastewater is needed to accommodate the expansion. As such, a growth management allocation must be awarded prior to authorizing a water and wastewater allocation, which the Planning and Building Department Director intends to grant. Prior to building permit issuance, the applicant is required to pay the water and wastewater service connection fees at the rate in effect at the time the building permit is issued.

D. Drainage

The project would increase the amount of impervious surfaces and overall stormwater runoff. However, Hogan Land Services has prepared a preliminary drainage analysis that indicates that the increased run-off would be mitigated by post-construction control measures (i.e., on-site water retention facilities). Conditions of approval would require an erosion and sedimentation plan with these low impact development features, supported with final design calculations indicating that the storm water runoff is at or less than existing conditions for 10- and 100-year 24-hour rain events.

E. Health and Safety

The Fire Department has reviewed the application and notes that a fire sprinkler system is required. Therefore, prior to occupancy, an automatic fire sprinkler system shall be

approved by the Fire Department and installed. Prior to construction, a fire flow analysis would be provided to determine the extent of the improvements warranted. Booster pumps and/or a new water lateral may be required to provide the proper fire flow.

F. Public Utilities and Services

The property proposes to connect to the City's water and sewer service along Foothill Boulevard. It is anticipated that the property would construct new water and sanitary sewer laterals. The old lines would be capped and abandoned subject to the review and approval of the Public Works Department. New radio read meters would be required prior to occupancy.

G. Trees and Landscaping

There are approximately 31 trees planned for removal by the project, which include 9 trees protected by the Municipal Code. In accordance with the City's Tree Ordinance, a tree protection and replacement plan will be required to be submitted to the City for review and approval to reduce the impact to the trees during construction. At a 3:1 replacement ratio, 27 replacement trees would be required. Some of the trees would be replaced on-site but others may be replaced off-site subject to the review and approval of the Public Works Department.

PUBLIC COMMENTS

As of August 19, no public comments had been received regarding this project.

FINDINGS

To reduce repetition, all of the necessary findings to approve the use permit and design review applications are contained in the draft resolution.

ENVIRONMENTAL REVIEW

The proposed project is Categorical Exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA Guidelines (In-fill Development).

RECOMMENDATION

Adopt a resolution approving the use permit and design review applications with conditions.

ATTACHMENTS

1. Location Map
2. Draft Resolution
3. Project Description received June 28, 2016
4. Site Plan and Floor Plan received June 28, 2016
5. Preliminary Drainage Analysis prepared by Hogan Land Services dated August 8, 2016

Excerpt

MINUTES

CALISTOGA PLANNING COMMISSION

August 24, 2016

A. ROLL CALL

Commissioners present: Chair Paul Coates, Vice Chair Tim Wilkes, Alissa McNair, Scott Cooper, Walter Abernathy. Absent: None. Staff present: Planning and Building Director Lynn Goldberg, Senior Planner Erik Lundquist.

G. PUBLIC HEARINGS

2. **Craftsman Inn Expansion UP 2016-4 and DR 2016-12:** Consideration of use permit and design review applications to expand the existing 5-unit bed and breakfast to a 13-unit hotel and spa exclusively for guest use at 1213 and 1303 Foothill Boulevard

Mr. Lundquist summarized the written staff report for the applications and recommended their approval.

In response to a question from **Commissioner Abernathy**, Mr. Lundquist replied that the proposed housing mitigation fee for the loss of the unit at 1303 Foothill Boulevard from the city's housing stock is based on the in-lieu affordable housing fee that is currently charged when a project does not provide the required affordable housing. By virtue of the existing home's limited size, it is likely an affordable unit and it was felt that charging this fee amount would be a fair compromise.

In response to a question from **Vice Chair Wilkes**, Mr. Lundquist replied that the existing parking's re-surfacing with a non-permeable surface was taken into account in the project's drainage study. He acknowledged that there would be some disruption to Buster's BBQ during the project's sidewalk construction.

In response to a question from **Chair Coates** regarding the adequacy of parking during the proposed special events, Mr. Lundquist confirmed that the events would be strictly for guest use and not open to the general public.

Chair Coates opened the public hearing.

Nick Kite, applicant, believes the project meets the letter and spirit of the General Plan. They want to be a good neighbor and he worked with adjoining property owners during the project's design phase. He hopes to use permeable pavers or permeable concrete in the parking lot. Their intention is that events would be for guests only.

Chair Coates closed the public hearing.

Vice Chair Wilkes expressed concern that the eight-foot width of the four compact parking spaces is too narrow. It looks like there is room to add one foot to the width of each of the spaces. He is also concerned about where the mechanical equipment would be located and its design.

David MacNeill, project architect, and Mr. Kite agreed to coordinate the design and location of the mechanical equipment with staff to minimize its noise level and public visibility. Mr. Kite also agreed to increase the widths of the compact parking spaces if feasible.

Vice Chair Wilkes believes the architect has done an admirable job knitting the two properties together. In response to his questions, Mr. MacNeill and Mr. Kite affirmed that the shingles and roofing materials on the house would be changed to match those of Craftsman Inn. Trash containers will be wheeled to Foothill Boulevard for collection.

Commissioner McNair believes that the architect has done a good job varying the forms and sizes of the buildings, which helps with the project's massing and gives the appearance of a collection of buildings. She would like to see some variation in the materials used across the buildings' front elevations to improve the project's rural feeling. She is concerned about parking along the street frontage, since it would replace a vineyard and there won't be any screening of the view from Foothill Boulevard except for a short wall and low landscaping.

Mr. Kite explained the challenge of meeting the parking requirement on a steeply-sloping site. They tried various locations before deciding to locate it at the front. Their intention is to screen the cars as much as possible; the landscaping would be higher than shown in the rendering. He noted that the parking area sits higher than the adjoining street, which will also help minimize its visual impact.

Commissioner Cooper thinks the applicants have done a great job on renovating the Craftsman Inn building and supports the project as long as the colors and materials are compatible throughout.

Chair Coates also appreciates the work done on the Craftsman Inn building and he is confident that the parking will be adequately screened based on the high quality of the current operation. He supports increasing the width of the compact parking spaces if possible.

Vice Chair Wilkes thinks that the general design approach is incredibly sensitive to the site and the existing conditions.

A motion by **Commissioner Cooper** and seconded by **Chair Coates** to adopt a resolution approving the use permit and design review applications was approved unanimously.