

**CITY OF CALISTOGA
PLANNING COMMISSION
RESOLUTION PC 2018-20**

**APPROVING USE PERMIT UP 2018-11 AND DESIGN REVIEW DR 2018-8 FOR A
SINGLE-FAMILY HOME AT 940 HIGHLAND COURT**

1 **WHEREAS**, on September 24, 2018, the property owner submitted applications
2 for a use permit and design review for a three-bedroom, single-family home on a 1.7-
3 acre lot at 940 Highland Court (APN 011-360-034) in the Rural Residential-Hillside
4 Zoning District; and

5 **WHEREAS**, staff reviewed the application in a timely manner as required by
6 California law and the Calistoga Municipal Code; and

7 **WHEREAS**, a Negative Declaration based on an Initial Study for the Highland
8 Court (Pestoni) Subdivision was adopted by the Planning Commission on September
9 26, 1991, and no significant project changes have been made; and

10 **WHEREAS**, the Planning Commission considered the use permit and the design
11 review requests during a public hearing on November 14, 2018. Prior to taking action
12 on the application, the Planning Commission received written and oral reports by the
13 staff, and public testimony; and

14 **WHEREAS**, the Planning Commission pursuant to Chapter 17.40.030 has made
15 the following findings that the proposed use:

16 1. Finding: Is in accord with the General Plan and any applicable planned
17 development.

18 Supporting Evidence: The proposed single-family residential use is consistent
19 with the uses allowed by the General Plan Low Density Residential designation,
20 and the project design's architecture, exterior materials and landscaping are
21 consistent with General Plan policies that encourage development that is
22 compatible with Calistoga's character and preserves its natural environment.

23 2. Finding: Is in accord with all applicable provisions of this title.

24 The project design is compatible with the meaning and intent of the Rural
25 Residential–Hillside (RR-H) Zoning District by placing the residence and related
26 improvements in locations that minimize impacts to trees, soils, geology, slopes
27 and drainage, and preserves views from surrounding properties. The proposed
28 plans meet all of the RR-H development standards.

29 3. Finding: Will not substantially impair or interfere with the development, use or
30 enjoyment of other property in the vicinity.

31 Supporting Evidence: The site layout and structure are in scale with and
32 harmonious with existing development in the surrounding neighborhood. The
33 home will be located on the lowest reaches of the western hillside and would be
34 accessed from Highland Court. Since the homes would be placed at a relatively
35 low elevation and is screened by dense vegetation, the open-space character of
36 this area would be preserved.

37 4. Finding: Is consistent with and enhances Calistoga's history of independently
38 owned businesses.

39 Supporting Evidence: This finding does not apply to the proposed residential
40 project.

41 5. Finding: Is resident-serving, in the case of a formula business..

42 Supporting Evidence: The proposed project is not a formula business.

43 **WHEREAS**, the Planning Commission has made the following design review
44 findings per CMC Section 17.41.050 as part of its deliberations on the project:

45 1 Finding: The design is in accord with all applicable provisions of the Zoning
46 Code.

47 Supporting Evidence: The project site is zoned Rural Residential – Hillside by the
48 Zoning Code. The proposed project design complies with the principals and
49 standards of the RR-H Zoning District (Calistoga Municipal Code Section
50 17.15.010(B)) as follows:

- 51 • *“The location, orientation and design for building sites, buildings, fences and*
52 *other structures, and streets and other circulation elements shall maintain and*
53 *preserve natural topography, cover, significant landmarks and trees, minimize*
54 *cut and fill, and preserve and enhance views and vistas on and off the subject*
55 *property.”* The home developments has been designed and oriented in a
56 clearing at the lowest levels of the western foothills. The access roadway
57 follows the topography and avoids large cuts and fill.
- 58 • *“The design of buildings, fences and other structures shall be in harmony with*
59 *and enhance natural site characteristics in regard to height, bulk, textures,*
60 *color, reflective properties, roof characteristics and setbacks.”* The residential
61 structures will be follow the natural contours of the hillside and will have
62 subdued architectural elements that complement their surroundings.
- 63 • *“In those areas where approval is given to disturb or remove natural*
64 *vegetation and ground cover, natural ground covers and other surfacing shall*
65 *be installed and a system designed for perpetual maintenance and care. All*
66 *landscaping, ground covering, and other surfacing shall be in harmony with*
67 *the natural site characteristics.”* The landscaping design incorporates
68 plantings that will complement and enhance the natural landscape
69 immediately adjacent to the structures. The remaining undeveloped portions
70 of the property will remain in a natural state.

71 2. Finding: The design is consistent with any adopted design review guidelines to
72 the extent possible.

73 Supporting Evidence: The architectural plans are consistent with the Single-
74 Family Residential Design Guidelines because the two-story structure is
75 proportionate to the size of the buildable area, is compatible with the surrounding

76 neighborhood, has architectural interest, varied rooflines, a well-placed garage
77 and uses landscaping, fencing and lighting to enhance the overall design.

- 78 3. Finding: The design will not impair or interfere with the development, use or
79 enjoyment of other property in the vicinity or the area.

80 Supporting Evidence: Construction of a two-story structure on the subject
81 property would not have any shading impacts or significantly disrupt hillside
82 views from adjoining properties. The location of the home has been selected so
83 that the impact to the natural resources would be minimized and retain the
84 significant tree cover and open-space quality of the site.

85 **NOW, THEREFORE, BE IT RESOLVED** by the City of Calistoga Planning
86 Commission that based on the above findings, the use permit and design review
87 applications for the residential development on the property known as 940 Highland
88 Court are hereby approved, subject to following conditions of approval:

- 89 1. This approval constitutes the approval of a use permit for and design review for a
90 single-family home at 940 Highland Court (APN 011-360-034). The improvements
91 hereby permitted shall substantially conform to the plans prepared by WHA
92 Architects and BKF Engineering and submitted to the City on September 24, 2018.
- 93 2. This approval shall be null and void if not vested within a one-year period. The
94 Planning and Building Director may extend this time line by up to 12 months
95 pursuant to Calistoga Municipal Code Section 17.40.040(B).
- 96 3. Upon issuance of a building permit for the single-family residence located at 940
97 Highland Court, this approval shall be deemed vested.
- 98 4. Minor modifications to the approved plans may be approved in writing by the
99 Planning and Building Department.
- 100 5. This approval does not abridge or supersede the regulatory powers or permit
101 requirements of any federal, state or local agency, special district or department
102 which may retain regulatory or advisory function as specified by statute or
103 ordinance. The applicant shall obtain permits as may be required from each
104 agency.
- 105 6. An application for a building permit shall be submitted for all construction
106 occurring on the site not otherwise exempt by the California Building Code or any
107 state or local amendment adopted thereto. Prior to the issuance of any building
108 permit, all fees associated with plan check and building inspections, and
109 associated development impact fees established by City ordinance or resolution
110 shall be paid.
- 111 7. The project site is located in the Very-High Fire Hazard Severity Zone and all
112 building code requirements pertaining to the Wildland-Urban Interface Fire Area
113 shall be applied, including the Wildland-Urban Interface standards per Chapter
114 7A of the California Building Code.

- 115 8. Prior to the issuance of a building permit for the project, a final landscape plan
116 prepared in conformance with the State Water Efficient Landscape Ordinance
117 shall be reviewed and approved by the Planning and Building Department.
118 Landscaping shall be installed prior to occupancy.. All landscaping shall be
119 maintained throughout the life of the project, and shall be replaced as necessary.
- 120 9. Prior to building permit issuance, a Tree Protection and Replacement Plan
121 consistent with CMC Chapter 19.01 shall be reviewed and approved by the
122 Public Works Department. All requirements and restrictions contained in Chapter
123 19.01 shall be complied with, which shall include any recommendations of the
124 project arborist. Tree removal shall be mitigated at a 3:1 ratio.
- 125 10. Construction activity shall stay outside the drip line of any protected tree to the
126 maximum extent feasible. Prior to building permit issuance, protective fencing
127 shall be installed subject to the review and approval of the Public Works
128 Department.
- 129 11. Tree preservation measures shall be incorporated into the design of the
130 improvements and shown on the improvement plans in accordance with the
131 City's Tree Preservation Ordinance (CMC Chapter 19.01) and the project
132 arborist's recommendations. The project arborist shall be on site during ground-
133 disturbing activities, including all activity associated with digging the foundation.
134 Subsequently, the project arborist shall prepare a letter to the Planning and
135 Building Department stating that the observations were made and that any
136 unexpected root damage was mitigated.
- 137 12. Prior to the issuance of any building permit, a drainage study, prepared by a
138 qualified engineer, shall be submitted subject to the review and approval of the
139 Public Works Department. Concentrated flow into neighboring lots shall be
140 avoided.
- 141 13. Drainage outlets across the sidewalk shall be appropriately designed to allow
142 100-year runoff without overtopping.
- 143 14. Prior to the issuance of a building or grading permit, a geotechnical report and
144 structural calculations for the retaining wall shall be provided.
- 145 15. Prior to the issuance of any building permit, a fire suppression sprinkler system
146 plan shall be submitted to the Planning and Building Department for review and
147 approval by the Fire Department. Prior to occupancy, the automated fire sprinkler
148 system shall be installed.

149 **PASSED AND ADOPTED** on November 14, 2018, by the following vote of the
150 Calistoga Planning Commission:

151 AYES:
152 NOES:
153 ABSENT:
154 ABSTAIN:

155
156
157
158
159
160

Paul Coates, Chairman

ATTEST: _____
Lynn Goldberg, Secretary



Project Team

<p><u>Developer:</u> Contact: Aaron Roden Business: (925)937-4373</p> <p><u>Architect:</u> Contact: Adam Gardner Business: (925)627-1163</p> <p><u>Civil Engineer:</u> Contact: Monique Fuhrman Business: (707)583-8500</p> <p><u>Landscape Architect:</u> Contact: Cesar Loeza Business: (925)938-7377</p>	<p>RYDER HOMES 1425 Treat Boulevard Walnut Creek, CA 94597</p> <p>WILLIAM HEZMALHALCH ARCHITECTS 5000 Executive Parkway, Suite 375 San Ramon, CA 94583</p> <p>BKF ENGINEERS 200 Fourth Street, Suite 300 Santa Rosa, CA 95401</p> <p>RIPLEY DESIGN 1615 Bonanza Street, Suite 314 Walnut Creek, CA 94596</p>
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Sheet Index

CS Cover Sheet

Civil

- C1 Site Plan
- C2 Erosion Control Plan
- C3 Notes and Details

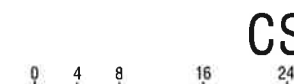
Architecture

- A1 Floor Plans
- A2 Roof Plan & Sections
- A3 Elevations
- A4 Exterior Color & Materials

Landscape

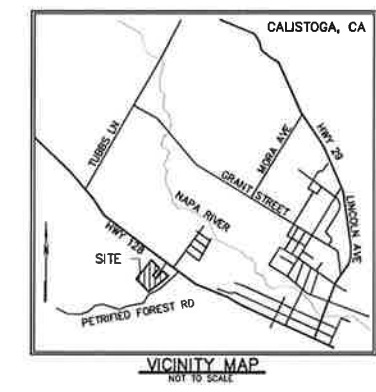
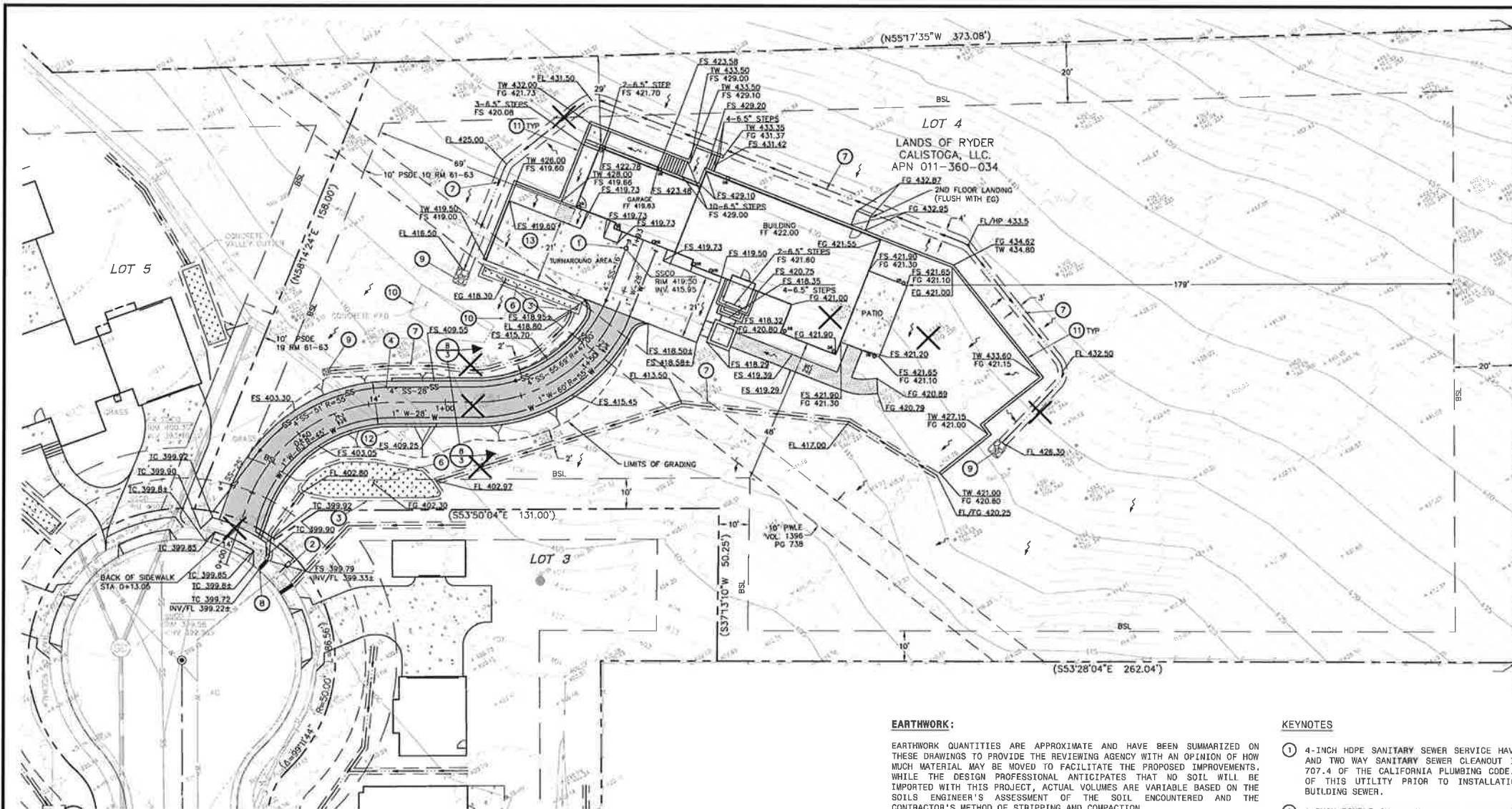
- L1 Preliminary Landscape Plan
- L2 Preliminary Planting Plan

LOT 4 - HIGHLAND COURT
CALISTOGA, CA 94515
A NEW CUSTOM RESIDENCE



CS





SYMBOLS & LEGEND

EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	CITY MONUMENT
(Symbol)	(Symbol)	VALVE
(Symbol)	(Symbol)	FIRE HYDRANT
(Symbol)	(Symbol)	SIGN
(Symbol)	(Symbol)	STREET LIGHT
(Symbol)	(Symbol)	LIGHT POLE
(Symbol)	(Symbol)	TREE
(Symbol)	(Symbol)	TREE TO BE REMOVED
(Symbol)	(Symbol)	SEWER CLEANOUT
(Symbol)	(Symbol)	ROOF DOWNSPOUT
(Symbol)	(Symbol)	LIMITS OF GRADING
(Symbol)	(Symbol)	PROPERTY LINE
(Symbol)	(Symbol)	EASEMENT
(Symbol)	(Symbol)	BUILDING SETBACK LINE
(Symbol)	(Symbol)	FLOW LINE
(Symbol)	(Symbol)	FENCE
(Symbol)	(Symbol)	STORM DRAIN
(Symbol)	(Symbol)	SANITARY SEWER
(Symbol)	(Symbol)	WATER
(Symbol)	(Symbol)	UNDERGROUND GAS LINE
(Symbol)	(Symbol)	UNDERGROUND ELECTRICAL LINE
(Symbol)	(Symbol)	CONCRETE
(Symbol)	(Symbol)	ASPHALT CONCRETE
(Symbol)	(Symbol)	HARDSCAPE
(Symbol)	(Symbol)	STORMWATER DRAINAGE DIRECTION
(Symbol)	(Symbol)	VALLEY GUTTER
(Symbol)	(Symbol)	BIORETENTION AREA
(Symbol)	(Symbol)	INVERT AT CLEANOUT
(Symbol)	(Symbol)	KEYNOTE

EARTHWORK:

EARTHWORK QUANTITIES ARE APPROXIMATE AND HAVE BEEN SUMMARIZED ON THESE DRAWINGS TO PROVIDE THE REVIEWING AGENCY WITH AN OPINION OF HOW MUCH MATERIAL MAY BE MOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. WHILE THE DESIGN PROFESSIONAL ANTICIPATES THAT NO SOIL WILL BE IMPORTED WITH THIS PROJECT, ACTUAL VOLUMES ARE VARIABLE BASED ON THE SOILS ENGINEER'S ASSESSMENT OF THE SOIL ENCOUNTERED AND THE CONTRACTOR'S METHOD OF STRIPPING AND COMPACTION.

OPINION OF PROBABLE EARTHWORK QUANTITIES	
DISTURBED AREA	0.43 ACRES
SOIL MOVED ON SITE *	150 CUBIC YARDS
SOIL IMPORT	NOT ANTICIPATED
SOIL EXPORT	3000 CUBIC YARDS

*SOIL MOVED ON SITE IS ANY SOIL EXCAVATED (CUT) AS A RESULT OF STRIPPING OR GRADING ACTIVITIES AND REUSED ON THE PROJECT SITE AS FILL.

NOTE: THE GROUND IMMEDIATELY ADJACENT TO THE NEW FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NO LESS THAN 8" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING.

TREES:

NOTE: TREE TAG TABLE SHOWN ON SHEET 3.

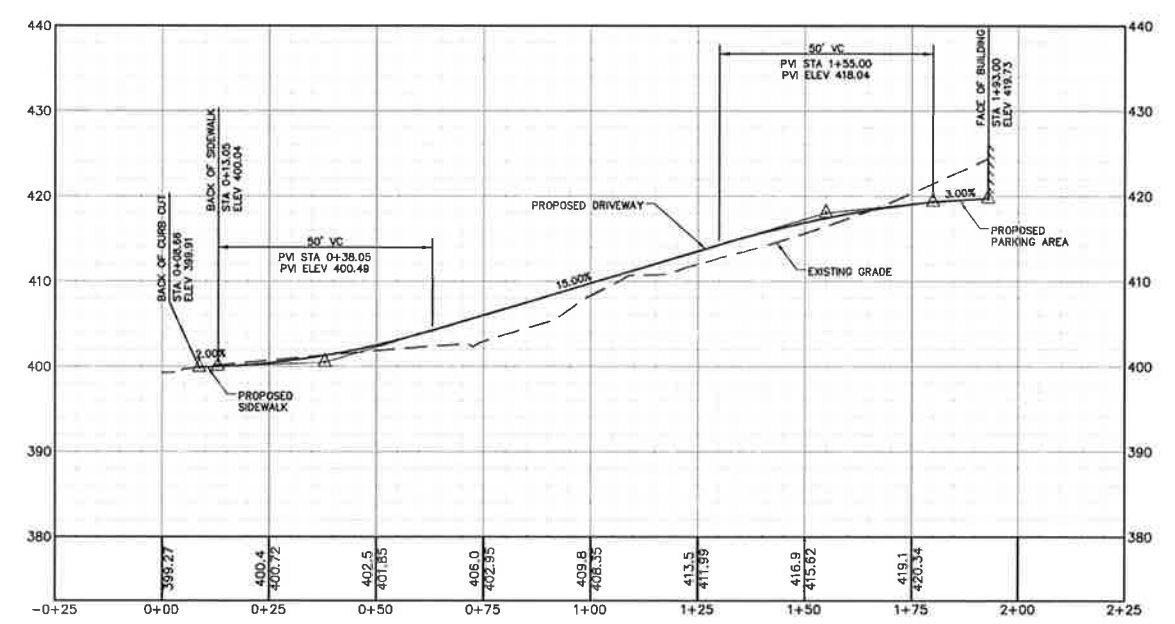
KEYNOTES

- 4-INCH HDPE SANITARY SEWER SERVICE HAVING A MINIMUM SLOPE OF 2% AND TWO WAY SANITARY SEWER CLEANOUT IN ACCORDANCE WITH SECTION 707.4 OF THE CALIFORNIA PLUMBING CODE. COORDINATE THE LOCATION OF THIS UTILITY PRIOR TO INSTALLATION AND CONNECTION TO THE BUILDING SEWER.
- 1-INCH DOUBLE CHECK VALVE AND 1-INCH HDPE WATER LINE TO RESIDENCE IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD 874. COORDINATE THE LOCATION OF THIS UTILITY PRIOR TO INSTALLATION AND CONNECTION TO THE BUILDING WATER.
- BIORETENTION OVERFLOW SIDE. STORMWATER TO OVERFLOW EDGE OF BIORETENTION AREA AND BE CONVEYED INTO EXISTING STORM DRAIN CATCH BASIN OR NEW SIDEWALK DRAIN.
- DRIVEWAY: MINIMUM 2-1/2 INCHES OF ASPHALT CONCRETE (AC) OVER 7 INCHES OF CLASS II AGGREGATE BASE TO BE VERIFIED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- BIORETENTION AREA PER DETAIL 1, SHEET 3.
- GRASSY SWALE PER DETAIL 2, SHEET 3.
- 3"x12-1/2" CAST IRON SIDEWALK DRAIN IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD 406 B. INSTALL SOLID, NON-SLIP, REMOVABLE LID.
- ROCK DISSIPATER PER DETAIL 7, SHEET 3.
- EXISTING FEATURES TO BE DEMOLISHED.
- PROPOSED RETAINING WALL. STRUCTURAL DESIGN AND WALL SUBDRAINS BY OTHERS.
- EXISTING CONCRETE SWALE TO BE DEMOLISHED WITHIN DRIVEWAY GRADING LIMITS SHOWN ON PLAN.
- TURNAROUND AREA: MINIMUM 6 INCHES OF CONCRETE OVER 4 INCHES OF CLASS II AGGREGATE BASE TO BE VERIFIED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.

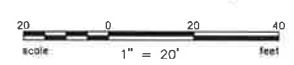
ABBREVIATIONS

±	MORE OR LESS	R	RADIUS
AC	ASPHALT CONCRETE	PAD	PAD GRADE
BFP	BACKFLOW PREVENTOR	PG&E	PACIFIC GAS & ELECTRIC
BO	BLOWOFF	POC	POINT OF CONNECTION
BSL	BUILDING SETBACK LINE	PSDE	PRIVATE STORM DRAIN EASEMENT
BOW	BOTTOM OF WALL	PUE	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CO	CLEAN OUT	PWLE	PRIVATE WATER LINE EASEMENT
DIA	DIAMETER	RWL	RAIN WATER LEADER
E	ELECTRIC	SD	STORM DRAIN
EG	EXISTING GROUND	SDCO	STORM DRAIN CLEAN OUT
ELEV	ELEVATION	SF	SQUARE FEET
EP	EDGE OF PAVEMENT	SL	STREET LIGHT
EX	EXISTING	SS	SANITARY SEWER
FF	FINISHED FLOOR	SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE	STA	STATION
FH	FIRE HYDRANT	TB	TOP OF BOX
FL	SURFACE FLOWLINE	TC	TOP FACE OF CURB
FS	FINISHED SURFACE	TEL	TELECOMMUNICATION LINE
G	GAS	TF	TRANSFORMER
GB	GRADE BREAK	TG	TOP OF GRATE
GI	GRATE INLET	TW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HP	HIGH POINT	UB	UTILITY BOX
INV	INSIDE BOTTOM OF PIPE	VC	VERTICAL CURVE
MAX	MAXIMUM	VLT	VAULT
MD	MITRED DRAIN	W	WATER
MIN	MINIMUM	WM	WATER METER

SITE INFORMATION:
 TOTAL BUILDING AREA: 4,355
 LOT AREA: 74,571 SF
 LOT COVERAGE: 5.8%



SITE PLAN



DATE	SYMBOL	REVISIONS

Bkf
 ENGINEERS / SURVEYORS / PLANNERS
 200 4TH ST. STE. 300 SANTA ROSA, CA 95401
 (707) 543-8500 FAX: (707) 543-9534

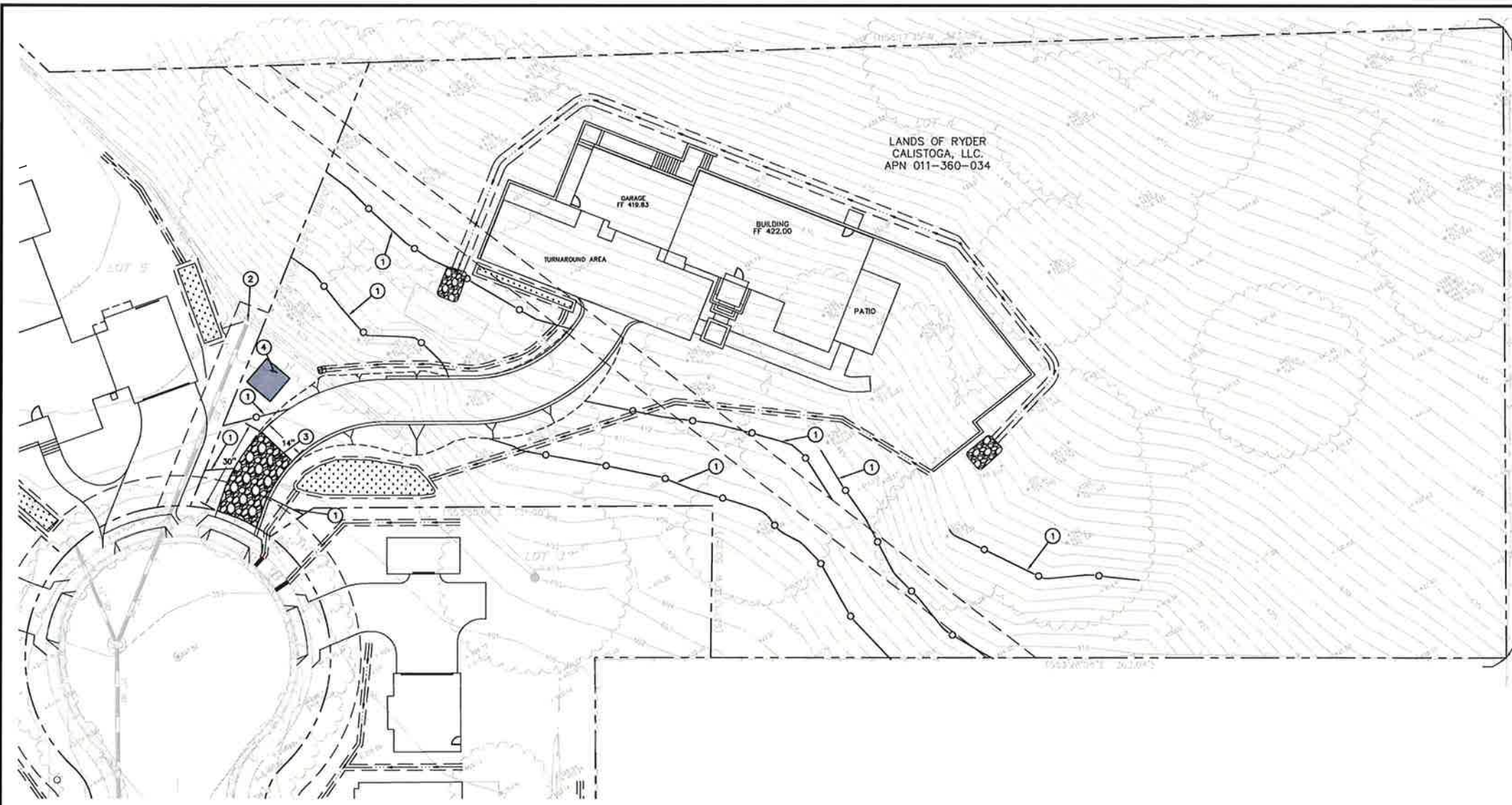
Preliminary
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BRYAN C. JACKSON C80603

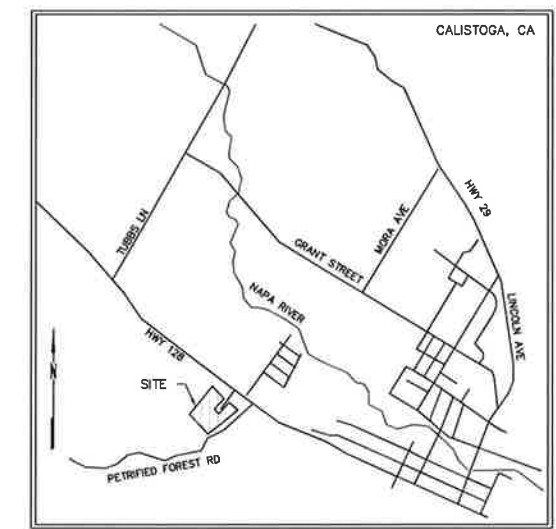


PESTONI SUBDIVISION

LOT NO.:	LOT 4
ADDRESS:	940 HIGHLAND COURT, CALISTOGA
LOT AREA:	74,571 SF
DATE:	09/18/2018
JOB NO.:	20090905-20



LANDS OF RYDER
CALISTOGA, LLC.
APN 011-360-034



VICINITY MAP
NOT TO SCALE

SYMBOLS & LEGEND

EXISTING	PROPOSED	DESCRIPTION
		FIBER ROLL
		CONCRETE WASHOUT
		CRUSHED ROCK ENTRANCE
		STORM DRAIN CATCH BASIN
		STORM DRAIN CURB INLET

- KEYNOTES**
- ① INSTALL FIBER ROLL $\frac{3}{3}$
 - ② INSTALL SEDIMENT DEVICE AROUND STORM DRAIN CATCH BASIN $\frac{5}{3}$
 - ③ INSTALL CRUSHED ROCK ENTRANCE $\frac{4}{3}$
 - ④ INSTALL CONCRETE WASHOUT $\frac{6}{3}$

EROSION CONTROL PLAN

Bkf
ENGINEERS / SURVEYORS / PLANNERS
200 4TH ST, STE 300 SANTA ROSA, CA 95401
(707) 543-8000 FAX: (707) 543-8038

Preliminary
09/18/2018 12:54 PM

BRYAN C. JACKSON C80603

PESTONI SUBDIVISION

LOT NO.:	LOT 4
ADDRESS:	940 HIGHLAND COURT, CALISTOGA
LOT AREA:	74,571 SF
DATE:	09/18/2018
JOB NO.:	20099095-20

Plot Sep 18, 2018 at 12:00pm
HC_ECP.dwg

GENERAL NOTES:
PARCEL ZONING: RURAL RESIDENTIAL

THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THIS DRAWING. OBTAIN WRITTEN PERMISSION FROM THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING AND THE CITY OF CALISTOGA PLANNING AND BUILDING DIRECTOR PRIOR TO INSTALLING IMPROVEMENTS IN A MANNER WHICH DEVIATE FROM THIS DRAWING.

OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF CALISTOGA PRIOR TO COMMENCEMENT OF WORK. PERFORM WORK IN ACCORDANCE WITH THE CITY OF CALISTOGA DESIGN AND CONSTRUCTION STANDARDS, AND LOCAL MUNICIPAL POLICIES UNLESS INDICATED OTHERWISE.

THE CITY'S APPROVAL DOES NOT ABROIDE OR SUPERSEDE THE REGULATORY POWERS OR PERMIT REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL AGENCY, SPECIAL DISTRICT OR DEPARTMENT WHICH MAY RETAIN REGULATORY OR ADVISORY FUNCTION AS SPECIFIED BY STATUTE OR ORDINANCE. THE CONTRACTOR SHALL OBTAIN PERMITS AS REQUIRED FROM EACH AGENCY.

PAVING NOTES:
ALL TRENCH CUTS WITHIN PUBLIC PAVED ROADS SHALL BE REPLACED PER CITY OF SANTA ROSA STANDARD 215.

GRADES AND DRAINAGE NOTES:
CLEAR AND GRUB AREAS TO BE DEVELOPED, REMOVE MATERIAL FROM THE SITE AND DISPOSE OF IN ACCORDANCE WITH LOCAL REGULATIONS. AREAS TO BE GRADED SHALL BE STRIPPED OF THE UPPER FEW INCHES OF SOIL CONTAINING ORGANIC MATTER AND THE MATERIAL STOCKPILED FOR RE-USE AS TOPSOIL IN LANDSCAPING.

REFER TO SOILS REPORT FOR RECOMMENDATIONS ON THE USE OF ON-SITE SOILS FOR USE AS FILL, SUBGRADE PREPARATION FOR FILL PLACEMENT, AND SLOPE CONSTRUCTION.

UNLESS OTHERWISE SPECIFIED BY THE CITY OF CALISTOGA, ON-SITE, INORGANIC SOIL MAY BE USED AS GENERAL UTILITY TRENCH BACKFILL. WHERE UTILITY TRENCHES SUPPORT PAVEMENTS, SLABS AND FOUNDATIONS, TRENCH BACKFILL SHALL CONSIST OF AGGREGATE BASE/ROCK. THE BASE/ROCK SHALL COMPLY WITH THE MINIMUM REQUIREMENTS IN THE CALTRANS STANDARD SPECIFICATIONS, SECTION 26 FOR CLASS 2 AGGREGATE BASE. TRENCH BACKFILL SHALL BE MOISTURE-CONDITIONED AS NECESSARY, AND PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8-INCHES IN THICKNESS, BEFORE COMPACTION. EACH LAYER SHALL BE COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD D-1557. THE TOP 6-INCHES OF TRENCH BACKFILL BELOW VENTILE PAVEMENT SUBGRADES SHALL BE MOISTURE-CONDITIONED AS NECESSARY AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. RECOMMENDATIONS FROM SOILS REPORT SHALL SUPERCEDE THESE RECOMMENDATIONS.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES WITHIN A CERTAIN PROXIMITY TO EARTH BE TREATED, OR OF NATURAL RESISTANCE TO CORROSION. PRIOR TO COMMENCING HOUSE CONSTRUCTION CONFIRM THAT THE MATERIALS PROPOSED ON THE ARCHITECTURAL DRAWINGS WILL NOT VIOLATE THIS REQUIREMENT WHEN INSTALLED USING THE ELEVATIONS SHOWN ON THIS DRAWING.

DISCHARGE DOWNSPOUTS AND DRAINAGE MEASURES, WHICH CONCENTRATE STORM WATER, AWAY FROM STRUCTURES, OR ONTO SPLASH BLOCKS OR OTHER IMPERMEABLE SURFACES WHICH DRAIN AT LEAST 5- FEET AWAY FROM STRUCTURES.

CONSTRUCT SITE DRAINAGE FACILITIES, AS REFLECTED ON THESE DRAWINGS, TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND PREVENT DRAINAGE FROM ONE LOT TO ANOTHER. THE HOMEOWNER OF EACH LOT SHALL BE RESPONSIBLE FOR MAINTAINING SITE DRAINAGE FACILITIES IN ACCORDANCE WITH THIS REQUIREMENT.

UNLESS OTHERWISE NOTED, PROVIDE 4-INCH POLY VINYL CHLORIDE SDR-35 PIPE (OR EQUIVALENT) FOR ALL STORM DRAIN SHOWN ON THIS DRAWING.

DURING GROUND-DISTURBING ACTIVITIES, INVOLVING CUTS DEEPER THAN THREE (3) FEET, A QUALIFIED CULTURAL RESOURCE CONSULTANT SHALL BE PRESENT TO MONITOR THE SITE AND ACTIVITIES. CONSTRUCTION CONTRACTOR PERSONNEL SHALL BE INFORMED THAT COLLECTING ARCHAEOLOGICAL MATERIALS DURING CONSTRUCTION IS PROHIBITED BY LAW. IF ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, ALL WORK WITHIN A 15-FOOT RADIUS OF THE DISCOVERY SHALL STOP AND THE CITY ENGINEER SHALL BE NOTIFIED OF THE DISCOVERY.

UTILITY NOTES:
CONTRACTOR SHALL VIDEO THE INSTALLED BUILDING SEWER LATERALS TO ENSURE PROPER INSTALLATION. CONTRACTOR SHALL COORDINATE WITH CITY OF CALISTOGA PUBLIC WORKS DEPARTMENT TO ENSURE THAT A CITY OF CALISTOGA PUBLIC WORKS EMPLOYEE IS PRESENT FOR THE VIDEOING OF INSTALLED BUILDING SEWER LATERALS. CONTRACTOR SHALL PROVIDE THE CITY WITH A COPY OF THE VIDEOS.

THE UPSTREAM SEWER MANHOLE OR CLEANOUT RIM GRADE NEAREST TO THE BUILDING SHALL BE SET A MINIMUM OF 12 INCHES BELOW THE BUILDING ULTIMATE FINISH FLOOR ELEVATION.

EROSION AND SEDIMENT CONTROL NOTES:
ENCLOSE TEMPORARY STOCKPILES WITH PERIMETER SEDIMENT BARRIERS SUCH AS FIBER ROLLS, AS SHOWN IN DETAIL 3 OF THIS SHEET, IN ACCORDANCE WITH CASQA SECTION W-3. STABILIZE STOCKPILES IN ACCORDANCE WITH CASQA SECTION EG-9 USING STRAW MULCH OR OTHER METHODS.

CONTRACTOR SHALL INSTALL CRUSHED ROCK ENTRANCE(S), PER DETAIL 4 ON THIS SHEET, AT PROJECT SITE TO AVOID TRACKING DIRT AND/OR SEDIMENT OFF-SITE.

CONTRACTOR SHALL INSTALL SEDIMENT DEVICES, PER DETAIL 5 ON THIS SHEET, AT THE STORM DRAIN DROP INLETS AND CATCH BASINS NEAREST TO THE PROJECT SITE PRIOR TO THE START OF THE WET WEATHER SEASON IN ORDER TO RETAIN ANY DEBRIS FLOWING INTO THE CITY STORM DRAIN SYSTEM. FILTER FABRIC MATERIAL SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY TO ENSURE EFFECTIVENESS AND PREVENT STREET FLOODING.

CONTRACTOR SHALL INSTALL SEDIMENT DEVICES AND GRAVEL BAGS, PER DETAIL 5 ON THIS SHEET, AT THE STORM DRAIN CURB INLETS NEAREST TO THE PROJECT SITE PRIOR TO THE START OF THE WET WEATHER SEASON IN ORDER TO RETAIN ANY DEBRIS FLOWING INTO THE CITY STORM DRAIN SYSTEM. FILTER FABRIC MATERIAL AND GRAVEL BAGS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY TO ENSURE EFFECTIVENESS AND PREVENT STREET FLOODING.

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT(S), PER DETAIL 6 THIS SHEET, TO ENSURE THAT CONCRETE/GRANITE SUPPLY TRUCKS OR CONCRETE/PLASTER FINISHING OPERATIONS DO NOT DISCHARGE WASH WATER INTO STREET GUTTERS OR STORM DRAINS.

PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS. IF ANY CONTAMINATED MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, WORK MUST STOP UNTIL A WORK PLAN HAS BEEN APPROVED IN WRITING BY THE CITY FIRE DEPARTMENT AND THE STATE REGIONAL WATER QUALITY CONTROL BOARD.

DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDING BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.

SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS, AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.

TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.

DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.

BMP IMPLEMENTATION SCHEDULE:
EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE GENERAL IN NATURE AND MAY NOT BE APPLICABLE DURING CERTAIN PHASES OF CONSTRUCTION. THE CRUSHED ROCK ENTRANCE DETAIL SHOWN ON THESE DRAWINGS REFLECTS A CONDITION PRIOR TO SURFACES BEING PAVED, WHEREAS SEDIMENT DEVICES AT INLETS REFLECTS A CONDITION AFTER THE STORM DRAIN SYSTEM HAS BEEN INSTALLED.

THE CONTRACTOR SHALL INTEGRATE APPROPRIATE MEASURES DURING EACH CONSTRUCTION PHASE TO ENSURE THAT SEDIMENT AND OTHER POLLUTANTS DO NOT ENTER THE STORM DRAIN SYSTEM.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT-LOADED WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN INSTALLING SUCH DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF CALISTOGA.

PRIOR TO AND DURING A PRECIPITATION EVENT, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEDIMENT-LOADED RUNOFF LEAVES THE SITE.

BEST MANAGEMENT PRACTICES SHALL BE VISUALLY MONITORED ON A WEEKLY BASIS DURING THE DRY SEASON AND RECORDED IN AN INSPECTION CHECKLIST. RAIN EVENT VISUAL MONITORING SHALL BE PERFORMED WITHIN 48 HOURS PRIOR TO AN ANTICIPATED RAIN EVENT, DAILY DURING A RAIN EVENT AND WITHIN 48 HOURS FOLLOWING A RAIN EVENT. REMOVE SEDIMENTS WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.

UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING.

COVER EXPOSED GRADED AREAS WITH STRAW MULCH OR JUTE NETTING AS A TEMPORARY STABILIZATION MEASURE. IF USED, STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

FINAL SITE STABILIZATION:
UPON COMPLETION OF FINAL GRADING, ALL EXPOSED OR DISTURBED SOILS SHALL BE HYDROSEED FOR EROSION CONTROL. SEEDING AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ESTABLISHED.

PRIOR TO BUILDING PERMIT ISSUANCE FOR A RESIDENCE, A FINAL LANDSCAPE PLAN PREPARED IN CONFORMANCE WITH THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE SHALL BE REVIEWED AND APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. LANDSCAPING SHALL BE INSTALLED PRIOR TO OCCUPANCY. ALL LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT, AND SHALL BE REPLACED AS NECESSARY. SEE LANDSCAPE PLANS PREPARED BY RIPLEY DESIGN GROUP FOR DETAILS.

TREE PROTECTION NOTES:
WHERE PRUNING FOR CLEARANCE IS REQUIRED ON ANY TREES TO REMAIN, IT SHOULD BE DONE BY TRAINED, QUALIFIED TREE WORKERS ACCORDING TO ISA & ANSI A300 PRUNING GUIDELINES, PRIOR TO CONSTRUCTION. PRUNING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION, (I.E. THE REMOVAL OF DEADWOOD 2" AND LARGER, ETC.) AND FOR CLEARANCE.

PLASTIC TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DRIFTLINES OF TREES WITHIN THE ZONE OF CONSTRUCTION ACTIVITY, (OR THE OUTER EDGE OF THE DRIFTLINE OF GROUPS OF TREES. IF ACCESS WITHIN DRIFTLINE WILL BE REQUIRED, FENCE TO BE PLACED AT EXPECTED LIMIT OF GRADING. FENCE SHOULD BE INSTALLED PRIOR TO THE START OF CLEARING OR GRADING OPERATIONS, AND KEPT IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES.

IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES WHICH CANNOT BE PRESERVED, THEY SHOULD BE CUT CLEANLY ACROSS THE FACE OF THE ROOT WITH A SHARP SAW, PAST ANY DAMAGED PORTIONS.

WOOD CHIP MULCH SHOULD BE SPREAD 2-3' DEEP UNDER PRESERVED TREES WITHIN THE BUILDING ENVELOPE WHERE THE SOIL HAS BEEN DISTURBED TO SERVE AS A PERMANENT TOP DRESSING.

NO PARKING, OPERATION OF EQUIPMENT, STORAGE OF MATERIALS, DISPOSAL OF WASTE OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DRIFTLINES OF PROTECTED TREES.

GRADING WORK SHALL BE PERFORMED IN A MANNER THAT MINIMIZES ADVERSE IMPACTS TO TREES.

IF ANY ISSUES ARISE DURING CONSTRUCTION RELATING TO TREES, PROJECT ARCHITECT SHALL BE NOTIFIED TO VISIT SITE AND/OR PROVIDE RECOMMENDATIONS.

PER CITY OF CALISTOGA MUNICIPAL CODE SECTION 19.01.040(A), A 3:1 REPLACEMENT FOR THE REMOVAL OF ANY PROTECTED TREE SHALL BE IMPLEMENTED. SEE LANDSCAPE PLANS PREPARED BY RIPLEY DESIGN GROUP FOR DETAILS.

HAPPING NOTES:
UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT. DRIFTLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

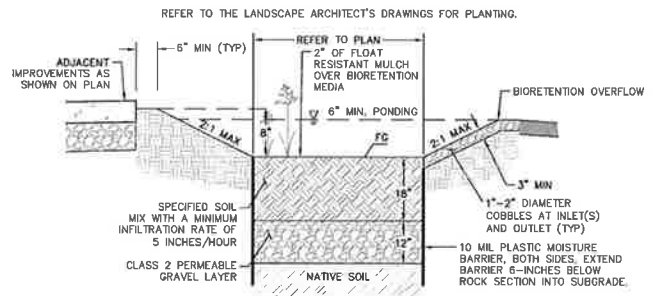
MISCELLANEOUS BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM RECORD DATA AND DOES NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

BASIS OF BEARINGS: MAP NO. 4680, FINAL MAP OF PESTONI SUBDIVISION FILED IN BOOK 19 OF MAPS, AT PAGES 61-63, MAPA COUNTY RECORDS.

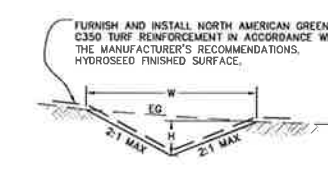
PROJECT BENCHMARK: CHISELED 'C' IN SOUTHEASTERN CORNER CONCRETE PUMP SLAB 60- FEET EAST OF HWY 128 CENTERLINE STATION 187+00 (A,K,A.) FOOTHILL BLVD.) ELEVATION: 384.95.

TEMPORARY BENCHMARK: PAINTED SQUARE IN TOP OF CURB AT THE NORTHERLY CURB RETURN, EASTERLY SIDE OF INTERSECTION FOOTHILL BLVD. AND METZ DRIVE. ELEVATION: 392.18.

FIELD SURVEY: THE EXISTING CONDITIONS AND TOPOGRAPHY SHOWN ON THIS DRAWING ARE BASED ON "TOPOGRAPHIC MAP HIGHLAND COURT", DATED JULY, 2017.



1 BIORETENTION DETAIL
NO SCALE



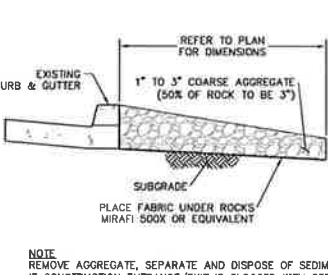
2 GRASSY SWALE DETAIL
NO SCALE

MAX FLOW DEPTH (H)	SWALE WIDTH (W)
6"	2'
9"	3'
1'	4'

3 FIBER ROLL DETAIL
NO SCALE



4 CRUSHED ROCK ENTRANCE
NO SCALE

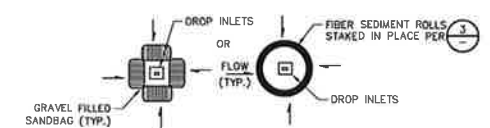


5 CONCRETE WASHOUT DETAIL
NO SCALE

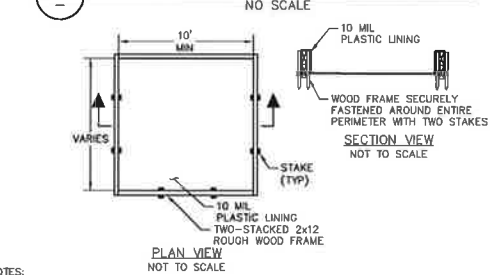
6 GRASSY SWALE DETAIL
NO SCALE

7 FIBER ROLL DETAIL
NO SCALE

8 CRUSHED ROCK ENTRANCE
NO SCALE



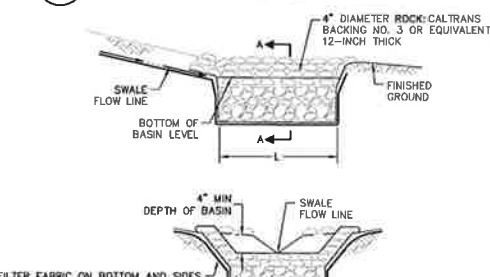
5 CATCH BASIN SEDIMENT DEVICES
NO SCALE



6 CONCRETE WASHOUT DETAIL
NO SCALE

- NOTES:
1. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 2. CONSTRUCT A BERMED AREA LARGE ENOUGH FOR LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES. WASHOUT WASTES INTO THE TEMPORARY WASHOUT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY. WASHOUT SHOULD BE LINED WITH A 10 MIL PLASTIC SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL. REFER TO PROJECT SWPPP FOR BMP INSPECTION AND MAINTENANCE.

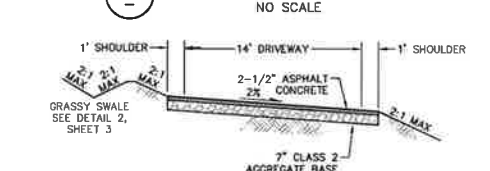
7 ROCK DISSIPATER
NO SCALE



8 TYPICAL DRIVEWAY SECTION
NO SCALE

MINIMUM LENGTH (L)	MINIMUM WIDTH (W)
5.5'	4'
2.25'	2'

9 TYPICAL DRIVEWAY SECTION
NO SCALE



10 TYPICAL DRIVEWAY SECTION
NO SCALE

TREE No.	TRUNK DIA.-SPECIES
TAG 301	22.4"-BLUE OAK
TAG 302	7.4"-VALLEY OAK
TAG 303	9"-VALLEY OAK
TAG 304	18"-MONTEREY PINE
TAG 305	12.4"-VALLEY OAK
TAG 306	24.6"-BLUE OAK
TAG 307	14.1"-VALLEY OAK
TAG 308	21"-VALLEY OAK
TAG 310	27.6"-VALLEY OAK
TAG 311	37.9"-VALLEY OAK
TAG 312	17"-VALLEY OAK
TAG 313	12.3"-VALLEY OAK
TAG 314	24"-BLUE OAK
TAG 315	20"-BLUE OAK
TAG 316	24"-BLUE OAK
TAG 317	18"-BLUE OAK
TAG 318	11.9"-BLUE OAK
TAG 319	12"-BLUE OAK
TAG 324	24"-BLUE OAK
TAG 326	5.4"-BLUE OAK
TAG 327	6.2"-BLUE OAK
TAG 328	6"-BLUE OAK
TAG 329	9.7"-BLUE OAK
TAG 330	6.9"-VALLEY OAK
TAG 331	22"-BLUE OAK

TREE No.	TRUNK DIA.-SPECIES
TAG 332	22"-BLUE OAK
TAG 333	16.6"-BLUE OAK
TAG 334	17.4"-BLUE OAK
TAG 335	16.1"-BLUE OAK
TAG 336	24"-BLUE OAK
TAG 337	24"-BLUE OAK
TAG 338	20"-BLUE OAK
TAG 339	20"-BLUE OAK
TAG 341	36"-BLUE OAK
TAG 342	18"-BLUE OAK
TAG 343	24"x12"-BLUE OAK
TAG 344	12"-BLUE OAK
TAG 345	10"-BLUE OAK
TAG 346	20"-VALLEY OAK
TAG 347	32.5"-VALLEY OAK
TAG 348	10.5"-BLUE OAK
TAG 349	12.1"-BLUE OAK
TAG 350	11.9"-BLUE OAK
TAG 351	7.7"-BLUE OAK
TAG 352	19.9"-BLUE OAK
TAG 353	14"-BLUE OAK
TAG 354	14"-BLUE OAK
TAG 355	27.6"-BLUE OAK
TAG 356	7.3"-BLUE OAK
TAG 357	20"x18"-BLUE OAK

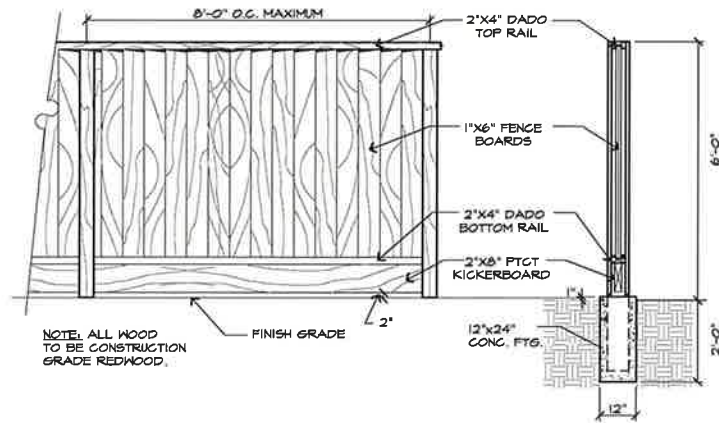
NOTES AND DETAILS

Bkf
ENGINEERS / SURVEYORS / PLANNERS
200 4TH ST. STE. 300 SANTA ROSA, CA 95401
(707) 543-9000 FAX: (707) 543-9039

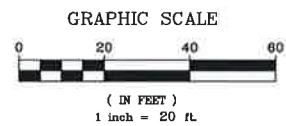
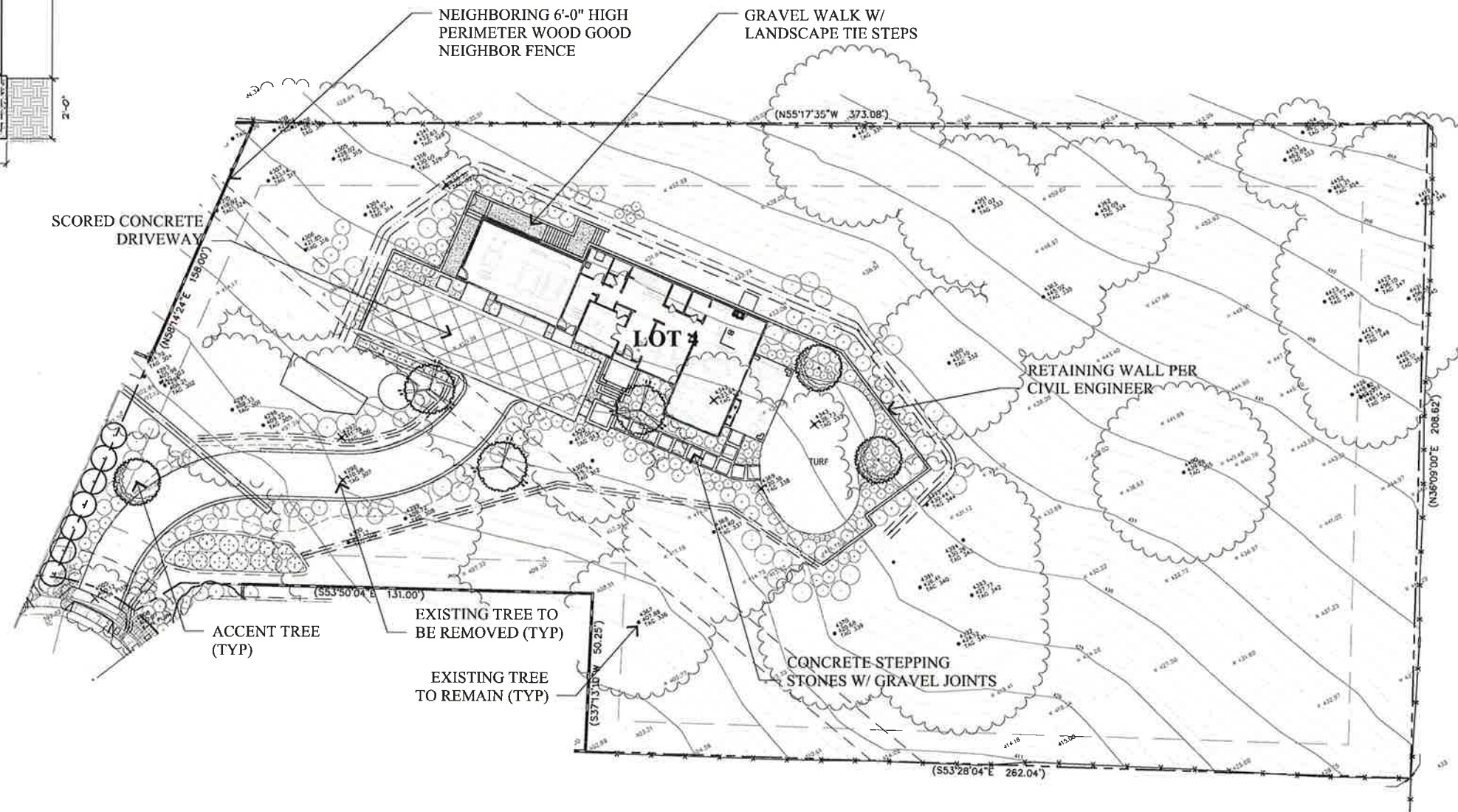
Preliminary
09/18/2018 12:04:58 PM
BRYAN C. JACKSON C80603

HIGHLAND COURT CALISTOGA

LOT NO.: LOT 4
ADDRESS: 940 HIGHLAND COURT, CALISTOGA, CA
LOT AREA: 20,526 SF
DATE: 09/18/2018
JOB NO.: 20099095-20



A GOOD NEIGHBOR FENCE SCALE: 1/2" = 1'-0"
084



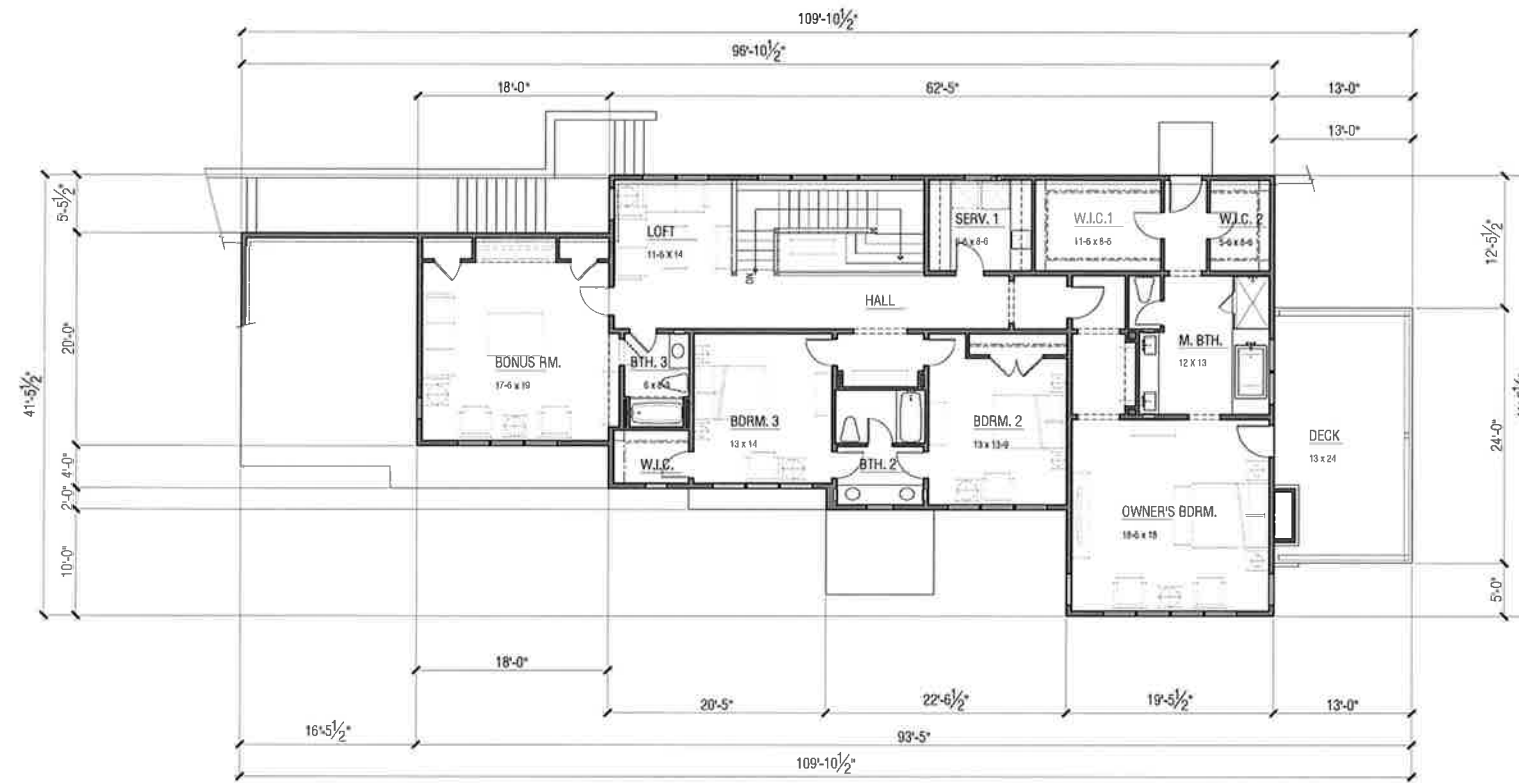
RIPLY DESIGN GROUP
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL: 925.938.7377
 www.ripleydesign.com

RYDER HOMES
 1425 Treat Blvd
 Walnut Creek, Ca 94597
 TEL: 925.937.4373

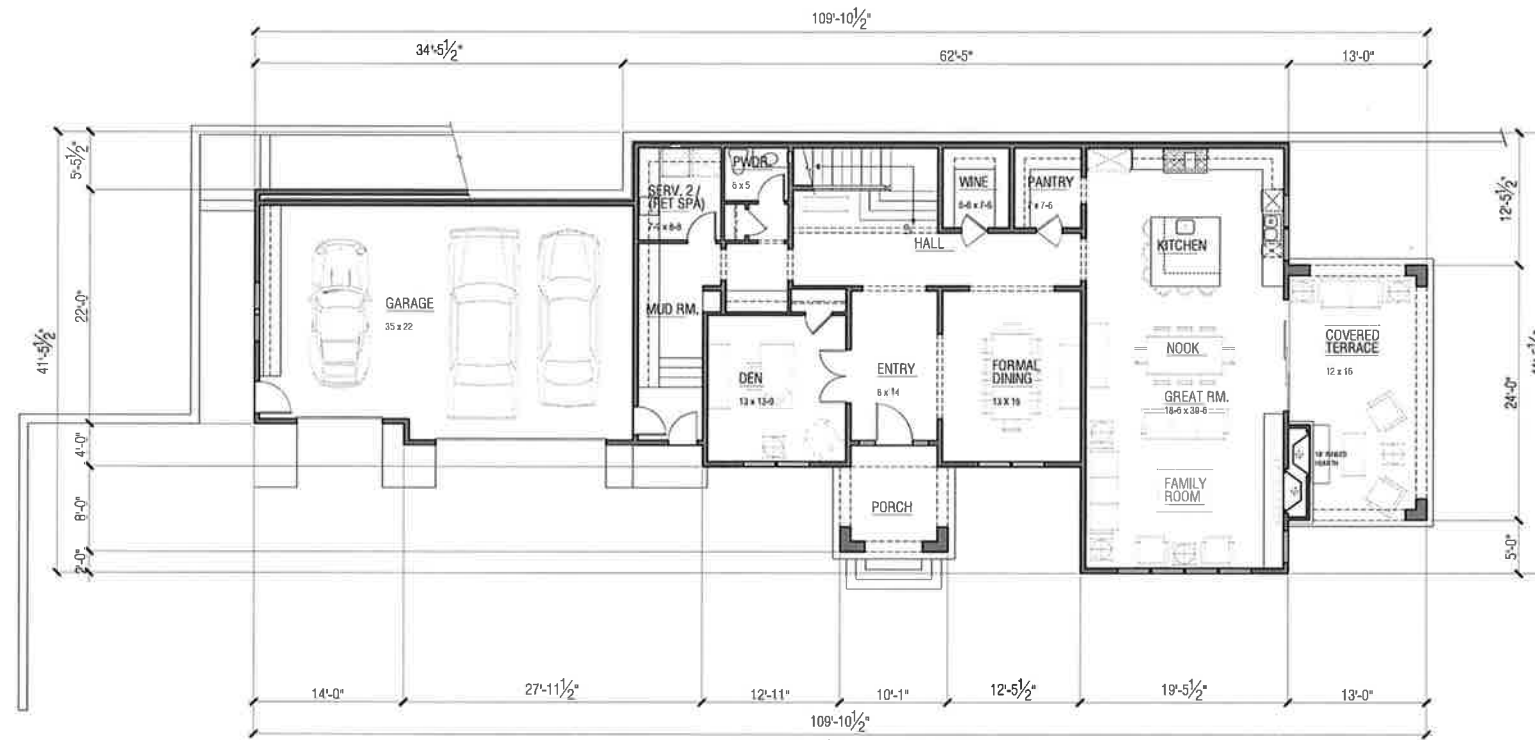


HIGHLAND COURT
 Calistoga, CA

Preliminary Landscape Plan
Lot 4



Upper Floor 2,319 SF



Lower Floor 2,036 SF

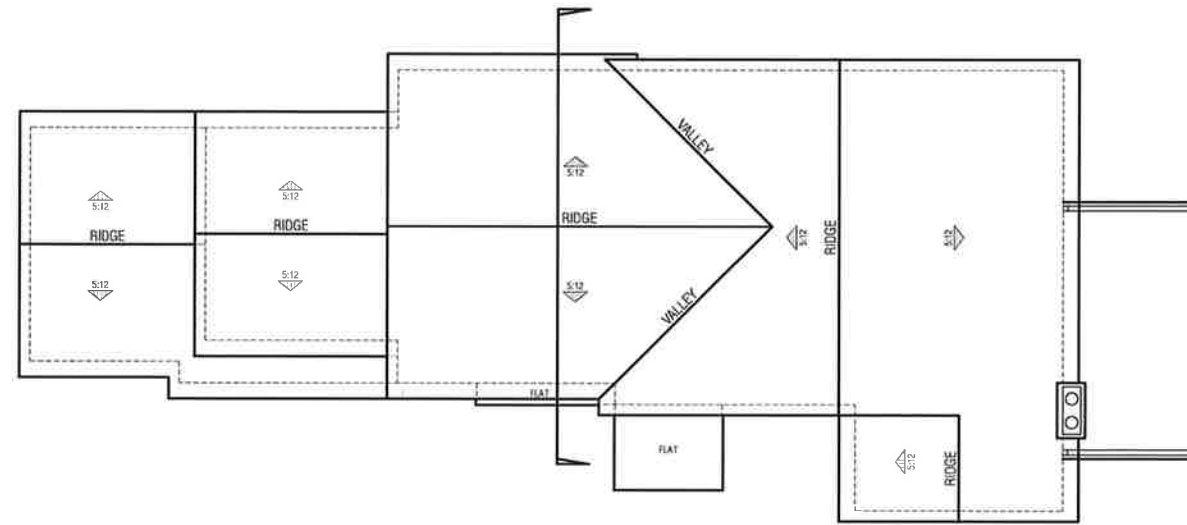
FLOOR PLANS

LOT 4 - HIGHLAND COURT
CALISTOGA, CA 94515

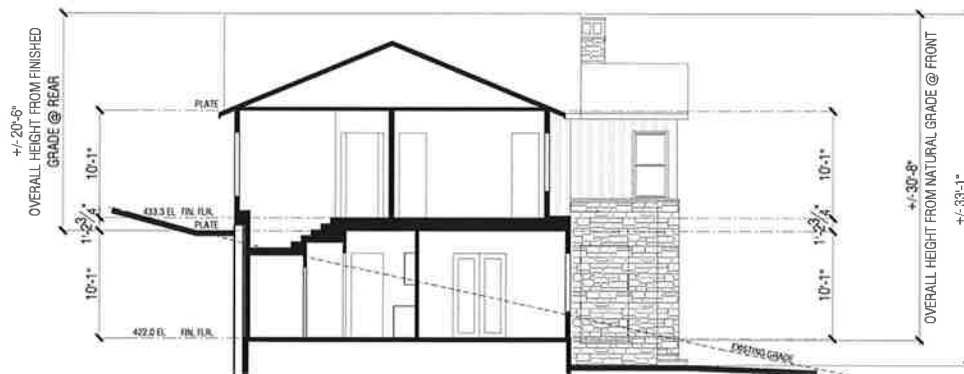
A NEW CUSTOM RESIDENCE

4,355 SF
3 Bdrm | 3.5 Bath | Den
Bonus
3-Car Garage





Roof Plan



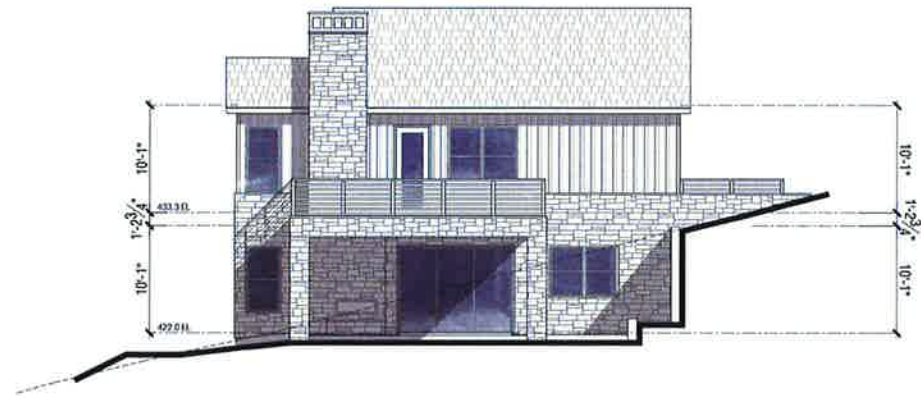
Section

ROOF PLAN & SECTION

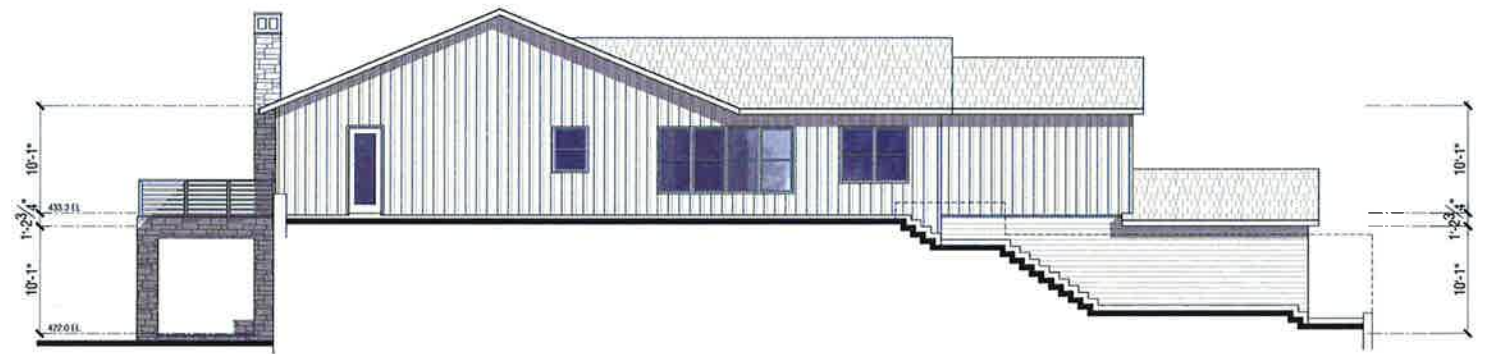
LOT 4 - HIGHLAND COURT
CALISTOGA, CA 94515

A NEW CUSTOM RESIDENCE





Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Materials

- Roof | Composition Shingle
- Second floor siding | Fiber cement board and batten
- Garage siding | Horizontal Fiber cement lap siding
- House base | Stone Veneer
- Railing | Horizontal Metal
- Windows | Vinyl, dual glazed windows
- Window trim | 1x2 Fiber cement window trim
- Garage Doors | Sectional overhead, roll-up
- Front Entry Door | Fiberglass

ELEVATIONS

LOT 4 - HIGHLAND COURT
CALISTOGA, CA 94515

A NEW CUSTOM RESIDENCE



LOT 4 - HIGHLAND COURT

Calistoga, California
 RYDER HOMES
 08-22-18 | 2017125.00

Exterior Color & Materials

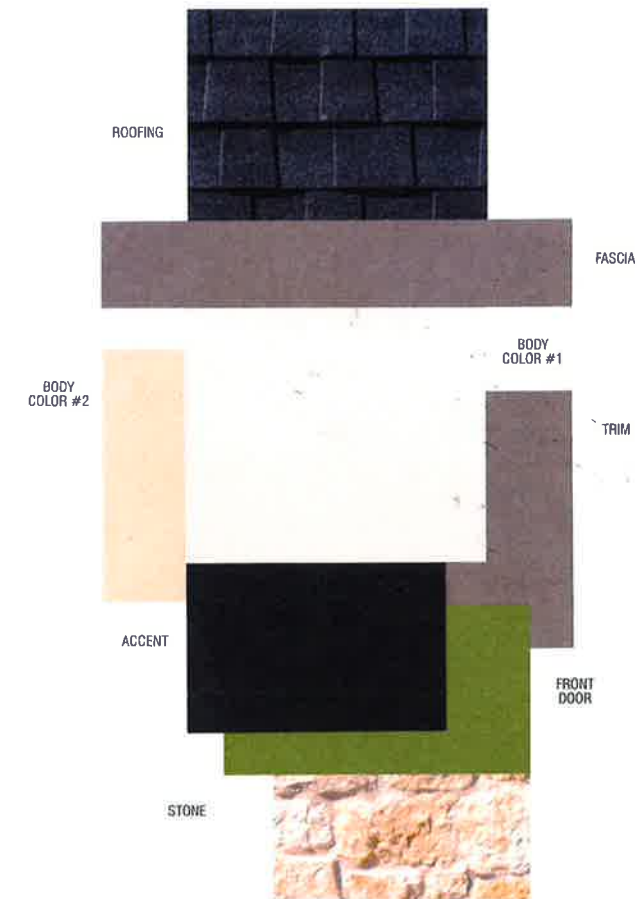
SCHEME 1 OF 1

'LOT 4' SCHEME ONLY

Material	Color	Manufacturer
Roofing: Asphalt Shingles	Charcoal Timberline HD (Tile 24 Compliant Product)	GAF
Vinyl Windows (factory finish)	Bronze Tuscany Series	Milgard
Gutters & Downspouts (factory finish)	Match to Adjacent Color	TBD
Manufactured Stone Cap (flush joints)	Sugarcand Architectural Trim (Dressed)	Creative Mines
Manufactured Stone (flush joints)	Whitegold Craft Orchard Limestone	Creative Mines
Mortar @ Stone	Sourdough	Orco
Body Color #1 (applied to): Board and Batten Window Trim @ Board and Batten	KM 27 Bone	Kelly Moore
Body Color #2 (applied to): Lap Siding Window Trim @ Lap Siding	KM 202 Doeskin	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Secondary Doors	HLS 4263 Hammered Pewter	Kelly Moore
Accent Color (applied to): Chimney Cap Railing	KM 4883 Black Cat	Kelly Moore
Front Door:	KM 5156 Thal Basil Belleville Series Textured Door (full lite with clear glass)	(Kelly Moore) Masonite
Garage Doors:	Match to Accent Color Canyon Ridge Series (full view with frosted glass)	(Kelly Moore) Clopay
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Hold WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Gosh Rad, (855) 463-1700.

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LOT 4 - HIGHLAND COURT

Calistoga, California
 RYDER HOMES
 08-22-18 | 2017125.00

'LOT 4' SCHEME ONLY

EXTERIOR COLOR & MATERIALS

LOT 4 - HIGHLAND COURT
 CALISTOGA, CA 94515

A NEW CUSTOM RESIDENCE

0 4 8 16 24
 A4





ARBORIST REPORT
For
Lot 4, Highland Court, Calistoga

PURPOSE

Ben Anderson of Urban Forestry Associates (UFA) was asked to produce an inventory of the trees on Lot 4, Highland Court in Calistoga, California in preparation for the development of the site. A site inspection occurred on March 13, 2018. The inventory can be found on the Tree Map that is to accompany this report.

SCOPE OF WORK / LIMITATIONS

Information regarding property boundaries, land ownership, and tree ownership was evident from a land survey, property fencing and/or provided by the client. UFA has no personal or monetary interest in the outcome of this matter. All determinations reflected in this report are objective and to the best of our ability. All observations regarding the sites and trees were made by UFA personnel, independently, based on our education and experience. Determinations of the health and hazard potential of the subject trees are through visual inspection only and of our best professional judgment.

The health and hazard assessments in this report are limited by the visual nature of the assessment. Defects may be obscured by soil, brush, vines, aerial foliage, branches, multiple trunks or other trees. None of the subject trees were examined using invasive techniques such as increment coring or Resistograph® tests. The probability of tree failure is dependent on several factors including: topography, geology, soil characteristics, wind patterns, species characteristics (both visually evident and concealed), structural defects, and the characteristics of a specific storm. Structurally sound, healthy trees fail during severe storms. Consequently, even a low risk rating is not a guarantee of no risk, hazard, or sound health.

OBSERVATION

Photos of all observations, including photos of each tree, can be made available upon request.

- A full, tree-by-tree inventory can be found on the Tree Map (dated 9/14/2018) that is to accompany this report.
- The species composition of the site includes *Pinus radiata*, *Quercus lobata*, *Quercus douglasii* and *Manzanita sp.* (Monterey pine, valley oak, blue oak and manzanita, respectively).
- The buds were just starting to open at the time of inspection and differentiation between blue and valley oak was made using leaf litter and the prevalence of galls.
- The location of the manzanitas was hand drawn in the field and is only approximate. The majority of these do not have a single stem larger than 4" at 4.5' above grade and even measuring stems at 4.5' above grade is difficult or impossible given the twisting form of the plant. They are only included on the map because if the diameters of their many stems were added, per the ordinance, some may total more than 12". These plants do not seem to meet the spirit of the ordinance as it defines a protected tree and so were not given numbers.
- Overall, the stand is in fair to good condition both structurally and in terms of health. This is largely due to the good spacing of the trees and lack of pruning, which is typically overdone to the point of harming the tree.
- There was a heavy presence of poison oak on the site and around the base of many of the subject trees. This prevented exact measurement of many diameters and so visual estimates were made. If a diameter is reported to the 0.1", it was taken with a diameter tape. Diameters reported as whole inches

are visual estimates.

- The location of Tree 357 is a field drawn estimation.

CONSTRUCTION IMPACTS

Assessed impacts are based solely on a site plan emailed on 8/30/2018 and a site survey of existing conditions. No grading, landscape or utility plans were assessed. These plans may have additional impacts.

Only five of the 57 protected trees on the site will need to be removed to accommodate the proposed home. Trees 306, 329 and 344 are blue oaks and trees 307 and 330 are valley oaks. Two of these are to accommodate the proposed driveway. The front of the property is lined with large oak trees. While it may be possible to install the driveway with only a single removal, this would place the impacts much closer to large trees to remain. It is better to remove a second, smaller tree (307) to give more space to the larger trees to remain.

The yard area will reportedly be modified to accommodate Tree 338. No grading or compaction shall occur within 5' of the base of the tree. Burying half the tree's root system will still be impactful to the tree's health. No irrigation or sod shall be installed in this 5' buffer zone, which shall be covered with 2-4" of mulch.

Tree 344 will be removed to accommodate the proposed V-ditch for drainage. This is a heavily stressed tree with poor condition that would bow over the back yard. Following construction, it is highly probably any owner intending to use the back yard would remove the tree if it is not removed now.

TREE WORK STANDARDS AND QUALIFICATION

All tree work, removal, pruning, planting, shall be performed using industry standards as established by the International Society of Arboriculture. Contractor must have a State of California Contractors License for Tree Service (C61-D49) or Landscaping (C-27) with general liability, worker's compensation, and commercial auto/equipment insurance.

Contractor standards of workmanship shall adhere to current Best Management Practices of the International Society of Arboriculture (ISA) and the American National Standards Institute (ANSI) for tree pruning, fertilization and safety (ANSI A300 and Z133.1).

INSPECTION SCHEDULE

Inspection of site: Prior to Equipment and Materials Move In, Site Work, Demolition and Tree Removal: The Project Arborist will meet with the General Contractor, Architect / Engineer, and Owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection / non-intrusion zone fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site: After installation of TPZ fencing: Inspect site for the adequate installation of tree preservation measures. Review any requests by contractor for access, soil disturbance or excavation areas within root zones of protected trees. Assess any changes in the health of trees since last inspection.

Inspection of site: During excavation or any activities that could affect trees: Inspect site during any activity within the Non-Intrusion Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site: Inspection of site following completion of construction: Inspect for tree health and make any necessary recommendations.

ARBORIST'S CHECKLIST

- An urban forester, certified or consulting arborist shall establish the Tree Protection Zone (TPZ) prior to starting the demolition work. Four-foot-high metal wire deer fencing will be erected by the contractor and inspected by the arborist to limit access to the TPZ. This will protect the trunk and root zone throughout construction.
- The Arborist shall have a pre-demolition meeting with contractor or responsible party and all other foremen or crew managers on site prior to any work to review all work procedures, access and haul routes, and tree protection. The contractor must notify the Arborist if roots are exposed or if trunk or branches are wounded.
- Any trunk and root crown that is not protected by a TPZ where heavy equipment operation is likely to wound the trunk, install a barrel stave-like trunk wrap out of 2 X 4 studs connected together with metal straps, attached to the 2 X 4's with driver screws or 1" nails.
- Storage of equipment shall be as far away from protected trees as possible and optimally on asphalt or ground protected by mulch / plywood.
- Heavy equipment use should be limited around trees and the roots. No equipment may be transported or used on bare ground within the root zone. A 6" layer of mulch and plywood must be placed under the path for access and egress. The protective "bridge" shall be maintained by the contractor and inspected by the arborist when on site.
- Any damage to trees due to demolition or construction activities shall be reported to the arborist within 6 hours, so that remedial action can be taken. Any damage done to the trees in violation of the contract agreement shall be appraised as a casualty loss by the arborist and provided to the tree owner.
- All trenching within the TPZ shall be done pneumatically or by hand, being careful not to damage any of the bark of any root encountered.
- An arborist shall inspect all grading, trenching, tunneling or other excavation within the root zones of trees prior to backfill.
- No chemicals or other waste materials shall be dumped within 20' of the base of any tree. There shall be no material storage in the TPZ.
- Pier and at-grade beam foundation construction should be used around the tree to avoid root damage. The top 3' of any pier located inside a TPZ shall be pneumatically excavated or hand dug then inspected by the arborist prior to drilling for piers to avoid major roots. Any minor roots (<3.5") encountered can be cut cleanly with a saw after excavation.
- Chimneys and other heat vents shall be screened and terminated or provided a trimmed clearance at least 10 feet from branches and foliage (See local fire codes).
- Any tree pruning will be done in accordance with ISA standards. All pruning will be inspected by the arborist.
- The arborist must perform a final inspection to ensure that no unmitigated damage has occurred and to specify any pest, disease or other health care. The arborist shall specify and oversee any necessary restorative actions.
- Any suspected omissions or conflict between various elements of the plan shall be brought to the

attention of the arborist and resolved before proceeding with the work.



Benjamin Anderson, Urban Forester
ISA Certified Arborist & TRAQ
WE:10160A

Attachment 5

September 26, 1991

NEGATIVE DECLARATION

Project Title: T 91-5, ROBERT AND SYLVIA PESTONI

Project Location: State Route 128/Petrified Forest Road
APN 11-360-23

Project Description:

An eight (8) lot residential subdivision.

State Clearinghouse Number: Not Applicable
(if submitted to Clearinghouse)

Contact Person: Phil Jones, Planning Director
Telephone No.: (707) 942-2827

This is to advise that the City of Calistoga has approved the above described project on September 25, 1991 and has determined that the project will not have a significant effect on the environment based on the following findings:

FINDINGS:

1. The project, as conditioned, is consistent with the Calistoga General Plan and Zoning Ordinance, including the principles of the RR-H zoning district for Lot 4.
2. An Initial Study has been prepared and a Negative Declaration, is recommended pursuant to the provisions of the California Environmental Quality Act.
3. The Tentative Map, as conditioned, complies with Title 16, the Subdivision Ordinance of the City of Calistoga.
4. None of the conditions set forth in Government Code Section 66474, subsections (a) through (g), apply to this project.
5. The project complies with Section 66412.3 of the Subdivision Map Act, in that it is consistent with the General Plan.
6. The project, as conditioned, will not have an adverse impact on the City's water and sewer system. The project, is however, subject to the City's Resource Management System.

An Initial Study is available for review at the Calistoga Planning Department.

