

**CITY OF CALISTOGA
PLANNING COMMISSION
RESOLUTION PC 20189-XX**

**APPROVING DESIGN REVIEW DR 2018-10 FOR A SINGLE-FAMILY HOME AT 1406
FOOTHILL BOULEVARD**

1 **WHEREAS**, on December 4, 2018, the property owner submitted a design
2 review application for a three-bedroom, single-family home on a 0.22-acre lot at 1406
3 Foothill Boulevard (APN 011-242-014) in the R-3: Multi-Family Residential/Office
4 District; and

5 **WHEREAS**, staff reviewed the application in a timely manner as required by
6 California law and the Calistoga Municipal Code; and

7 **WHEREAS**, the Planning Commission approved a variance for reduced front and
8 interior side yard setbacks for the property via Resolution PC 2018-10 on July 11, 2018;
9 and

10 **WHEREAS**, the design review is exempt from the requirements of the California
11 Environmental Quality Act (CEQA) pursuant to Section 15303(a) of the CEQA
12 guidelines; and

13 **WHEREAS**, the Planning Commission considered the design review request
14 during a public hearing on February 27, 2019. Prior to taking action on the application,
15 the Planning Commission received written and oral reports by the staff, and public
16 testimony; and

17 **WHEREAS**, the Planning Commission has made the following design review
18 findings per CMC Section 17.41. as part of its deliberations on the project:

19 1 Finding: The design is in accord with all applicable provisions of the Zoning
20 Code.

21 Supporting Evidence: The development standards for the R-3 Zoning District are
22 complied with as modified by the reduction in front and interior side yard
23 setbacks via Planning Commission resolution 2018-10. As this is the
24 reconstruction of a preexisting structure, a single-family home is allowed on this
25 lot (Calistoga Municipal Code Section 17.44.030(B)(2)).

26 2. Finding: The design is consistent with any adopted design review guidelines to
27 the extent possible.

28 Supporting Evidence: The architectural plans are consistent with the Single-
29 Family Residential Design Guidelines because the structure is proportionate to
30 the size of the buildable area, is compatible with the surrounding neighborhood,
31 has architectural interest, varied rooflines, and a well-placed garage, and uses
32 landscaping, fencing and lighting to enhance the overall design. The design of
33 the home is reminiscent of the Craftsman-style structure that preceded it on this
34 lot. Architectural details such as tapered porch columns and knee braces
35 emphasize the Craftsman style.

36 3. Finding: The design will not impair or interfere with the development, use or
37 enjoyment of other property in the vicinity or the area.

38 Supporting Evidence: The proposed structure would not have any shading
39 impacts or significantly disrupt views from adjoining properties. The new structure
40 replaces a preceding structure that had a very similar footprint and massing.

41 **NOW, THEREFORE, BE IT RESOLVED** by the City of Calistoga Planning
42 Commission that based on the above findings, the design review application for the
43 residential development on the property known as 1406 Foothill Boulevard are hereby
44 approved, subject to the conditions of approval attached hereto as Exhibit A:

45 **PASSED AND ADOPTED** on February 27, 2019, by the following vote of the
46 Calistoga Planning Commission:

47 AYES:
48 NOES:
49 ABSENT:
50 ABSTAIN:

51

52

Paul Coates, Chairman

53

54

55

ATTEST: _____
Lynn Goldberg, Secretary

56

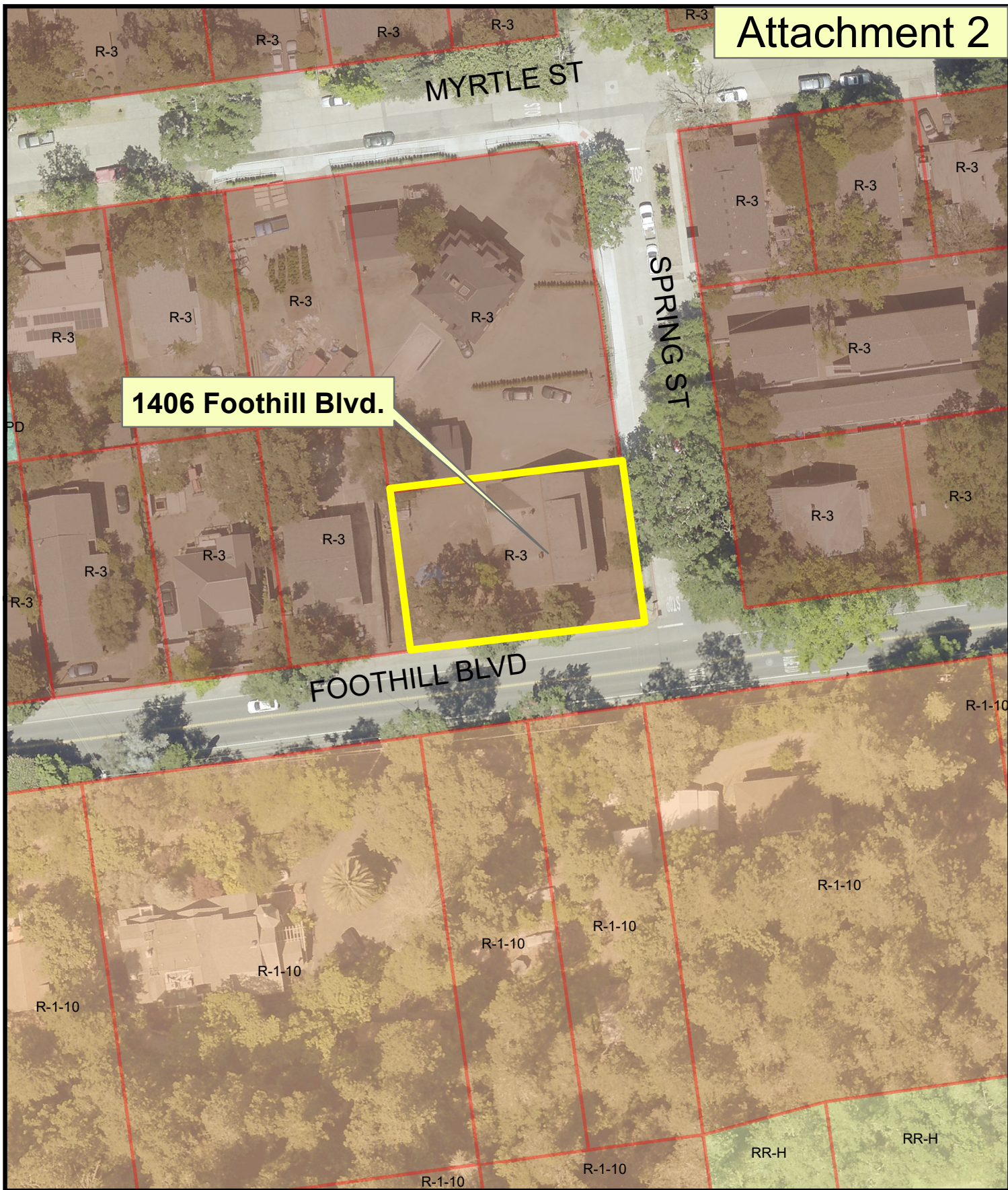
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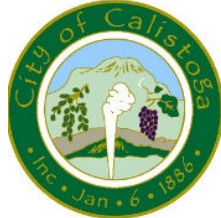
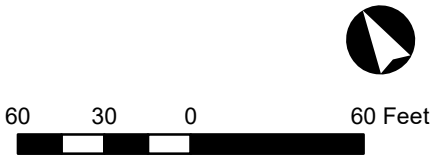
EXHIBIT A

- 59 1. This approval constitutes the approval of a design review application for a single-
60 family home at 1406 Foothill Boulevard (APN 011-242-014). The improvements
61 hereby permitted shall substantially conform to the plans submitted to the City on
62 January 28, 2019.
- 63 2. This approval shall be null and void if not vested within a one-year period. The
64 Planning and Building Director may extend this time line by up to 12 months
65 pursuant to Calistoga Municipal Code Section 17.41.060.
- 66 3. Upon issuance of a building permit for the single-family residence located at 1406
67 Foothill Boulevard, this approval shall be deemed vested.
- 68 4. Minor modifications to the approved plans may be approved in writing by the
69 Planning and Building Department.
- 70 5. This approval does not abridge or supersede the regulatory powers or permit
71 requirements of any federal, state or local agency, special district or department
72 which may retain regulatory or advisory function as specified by statute or
73 ordinance. The applicant shall obtain permits as may be required from each
74 agency.
- 75 6. An application for a building permit shall be submitted for all construction
76 occurring on the site not otherwise exempt by the California Building Code or any
77 state or local amendment adopted thereto. Prior to the issuance of any building
78 permit, all fees associated with plan check and building inspections, and
79 associated development impact fees established by City ordinance or resolution
80 shall be paid.
- 81 7. Any asphalt concrete replacement shall conform to the City of Santa Rosa
82 Standard 215.
- 83 8. The sidewalk along the project's Spring Street frontage shall be replaced with a
84 6' wide sidewalk and an ADA-compliant ramp within the City right of way shall be
85 installed at the Spring St. and Foothill Blvd. intersection.
- 86 9. Post-development peak stormwater flows to each neighboring property shall be
87 equal or less than existing conditions. (per CMC 19.08 and 16.16, and Santa
88 Rosa Standards)
- 89 10. Tree preservation measures shall be incorporated into the design of the project
90 improvements and shown on the improvement plans in accordance with the
91 City's Tree Preservation Ordinance (CMC Chapter 19.01) and the project
92 arborist's recommendations. Construction activity shall stay outside the drip line
93 of any protected tree to the maximum extent feasible. Prior to building permit
94 issuance, protective fencing shall be installed subject to the review and approval
95 of the Public Works Department. The project arborist shall be on site during
96 ground-disturbing activities, including all activity associated with digging the
97 foundation. Subsequently, the project arborist shall prepare a letter to the

98 Planning and Building Department stating that the observations were made and
99 that any unexpected root damage was mitigated.



LOCATION MAP
1406 Foothill Boulevard
DR 2018-10



1406 FOOTHILL BLVD. NEW RESIDENCE

Attachment 3

Architect:
David MacNeill
3776 Norfolk St.
Napa, CA 94558
(530) 414-1372



1406 Foothill Blvd.
Calistoga, CA

APN: 011-242-014

PROJECT DATA

PROJECT DESCRIPTION

SHEET INDEX

PROJECT INFORMATION

PROPERTY OWNER	JASON AND JENNIFER PASQUETTI - 3032 THUNDER VALLEY COURT, SUITE 200, LINCOLN, CA 95648
SITE ADDRESS	1406 FOOTHILL BLVD., CALISTOGA, CA 94515
ZONING	RESIDENTIAL / PROFESSIONAL OFFICE (R-3)
DOMESTIC & IRRIGATION WATER SOURCE	CITY OF CALISTOGA
FIRE PROTECTION WATER SOURCE	CITY OF CALISTOGA
WASTEWATER DISPOSAL	CITY OF CALISTOGA

ZONING

R-3

CONSTRUCTION TYPE

V-B

OCCUPANCIES

R-3

SINGLE FAMILY RESIDENCE

U - GARAGES

PARCEL NOTES

APN	011-242-014
FLOOD ZONE	ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 0655C0229E EFFECTIVE SEPTEMBER 26, 2006, THE PROJECT IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD DISTRICT
PARCEL AREA	+/- 0.22 ACRES OR ±9,600 S.F.
SITE COVERAGE	HOUSE, POOL & DECK 3,656 SF = 38% SITE COVERAGE
THEORETICAL WATER USE	±220 GPD DOMESTIC; ±150 GPD WASTEWATER

FLOOR AREA CALCULATIONS:

BASEMENT FLOOR:
CONDITIONED FLOOR AREA = 326 S.F.
UNCONDITIONED FLOOR AREA = 2,509 S.F.
TOTAL = 2,835 S.F.

UNCOVERED DECK:
569 S.F.

POOL + COPING:
252 S.F.

FIRST FLOOR:
CONDITIONED FLOOR AREA = 2,020 S.F.
COVERED PORCHES = 744 S.F.
STAIRS (SPRING ST.) = 54 S.F.
TOTAL = 2,712 S.F.

SECOND FLOOR:
CONDITIONED FLOOR AREA = 1,751 S.F.

TOTAL CONDITIONED AREA = 4,097 S.F.
TOTAL UNCONDITIONED AREA = 2,509 S.F.
TOTAL COVERED PORCHES = 744 S.F.
TOTAL UNCOVERED DECK = 569 S.F.
POOL + COPING = 252 S.F.
STAIRS (SPRING ST.) = 54 S.F.
TOTAL AREA = 8,225 S.F.

THE EXISTING SITE CONDITIONS CONSIST OF A VACANT RESIDENTIAL LOT IN WHICH THE PREVIOUS SINGLE FAMILY HOME WAS DEMOLISHED THIS LAST SUMMER UNDER A CITY PERMIT. WE WISH TO BUILD A NEW SINGLE FAMILY HOME OF SIMILAR STYLE TO THE ORIGINAL HOME CONSISTENT WITH THE PLANS SUBMITTED FOR THE VARIANCE RESOLUTION WHICH WAS APPROVED AND ADOPTED ON JULY 11, 2018 BY A UNANIMOUS VOTE BY THE CALISTOGA PLANNING COMMISSION.

THE PROPOSED RESIDENCE WILL CONSIST OF A BASEMENT LEVEL WITH 2 STORIES ABOVE. THREE BEDROOMS AND 3-1/2 BATHROOMS. TWO COVERED PORCHES AND A LOWER DECK WITH A PLUNGE POOL. LANDSCAPING WILL BE MINIMAL WITH LESS THAN 500 S.F. OF PLANTED AREA.



PLAN SET

ARCHITECTURAL SHEETS

A0.0 COVER SHEET

A0.1 SITE PHOTOS

A1.0 OVERALL SITE
A2.0 BASEMENT LEVEL FLOOR PLAN
A2.1 FIRST LEVEL FLOOR PLAN
A2.2 SECOND LEVEL FLOOR PLAN

A3.0 EAST ELEVATION, SPRING ST.
A3.1 SOUTH ELEVATION, FOOTHILL BLVD.
A3.2 WEST ELEVATION
A3.3 NORTH ELEVATION
A3.4 SPRING STREET ELEVATION & FOOTHILL BLVD. ELEVATION w/ SITE PHOTOS

CR COLOR RENDERING

L1.0 LANDSCAPE / FENCE PLAN

CIVIL SHEETS

C0.0 CIVIL COVER SHEET
C0.1 CIVIL GENERAL NOTES
C1.0 SITE DEMOLITION PLAN
C2.0 SITE GRADING & STORM WATER CONTROL PLAN
C3.0 EROSION & SEDIMENT CONTROL PLAN
C4.0 SITE DETAILS

DOCUMENTS

PRELIMINARY REPORT
BASMAA
VARIANCE RESOLUTION

Drawn by: DBM

Date: 12/09/18

Scale: NONE

Job No.:

Submittals / Revisions:

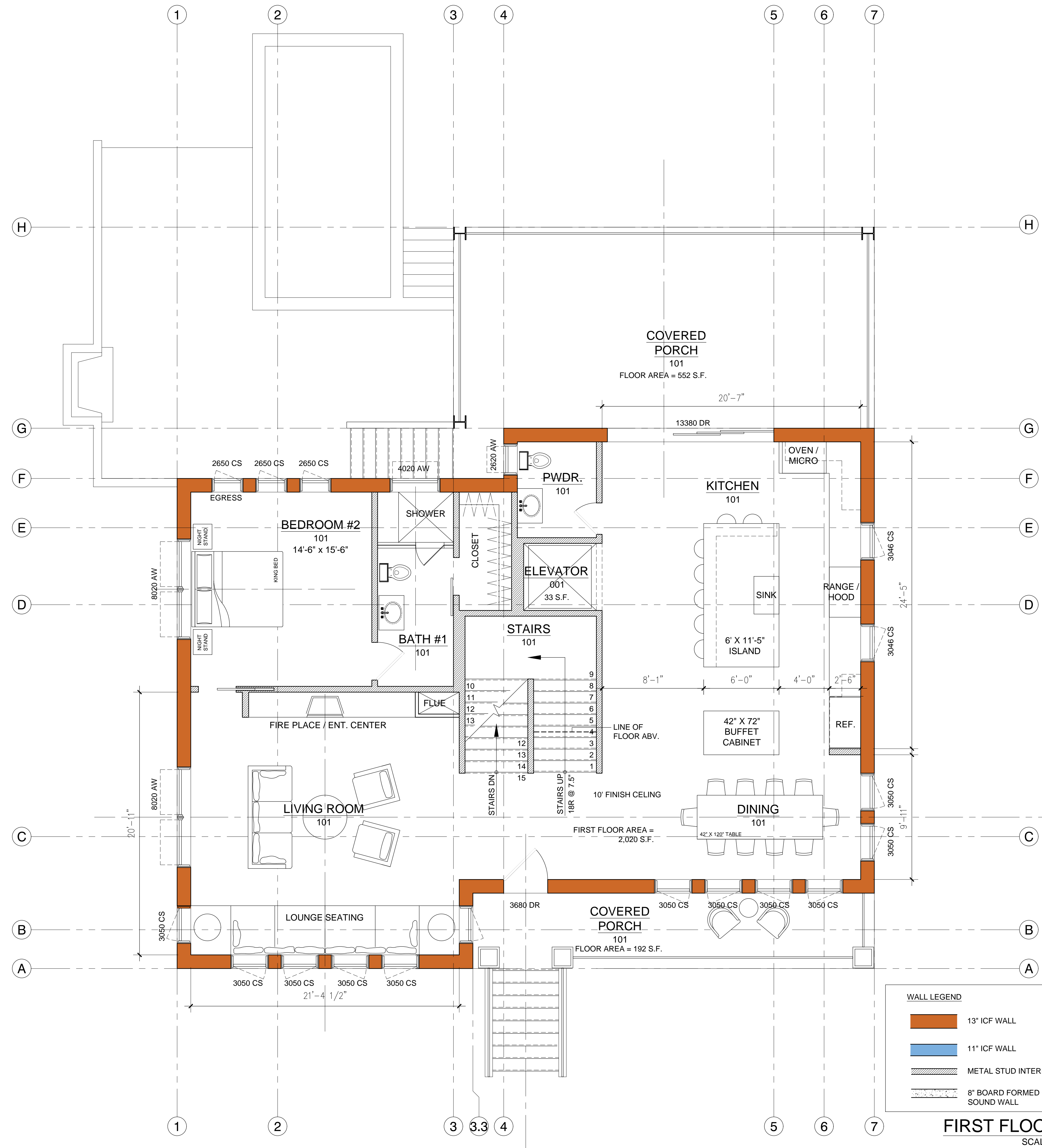
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COVER SHEET

A0.0

1406 Foothill Blvd.
Calistoga, CA

APN: 011-242-014



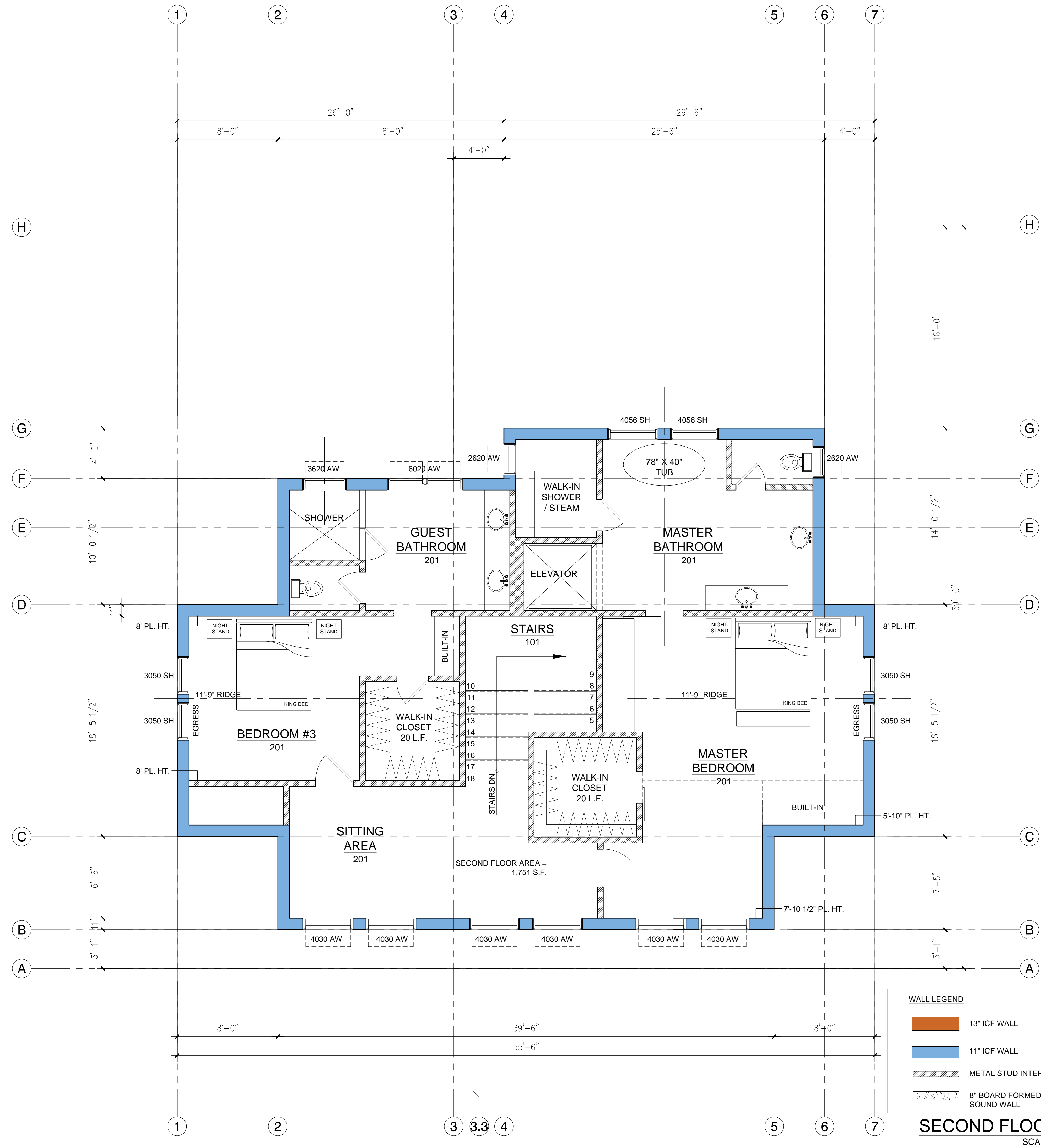
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Scale: 1/4" = 1'-0"

Job No.:

Submittals / Revisions:

Sheet Name
FLOOR PLANS

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

	13" ICF WALL
	11" ICF WALL
	METAL STUD INTERIOR WALL
	8" BOARD FORMED CONCRETE SOUND WALL

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Drawn by:	DBM
Date:	12/09/18
Scale:	1/4" = 1'-0"
Job No.:	
Submittals / Revisions:	

Sheet Name
FLOOR PLANS

A2.2



"JAMES HARDIE"
BOARD & BATTEN
"ARCTIC WHITE" COLOR



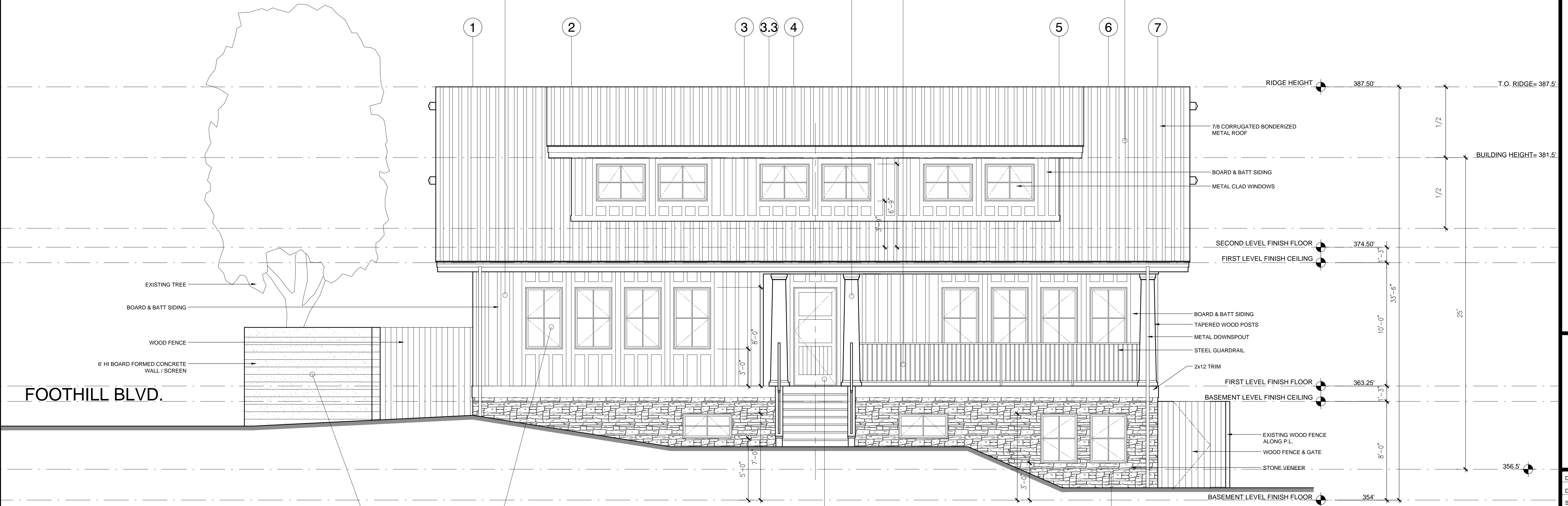
ORIGINAL TAPERED
PORCH COLUMN



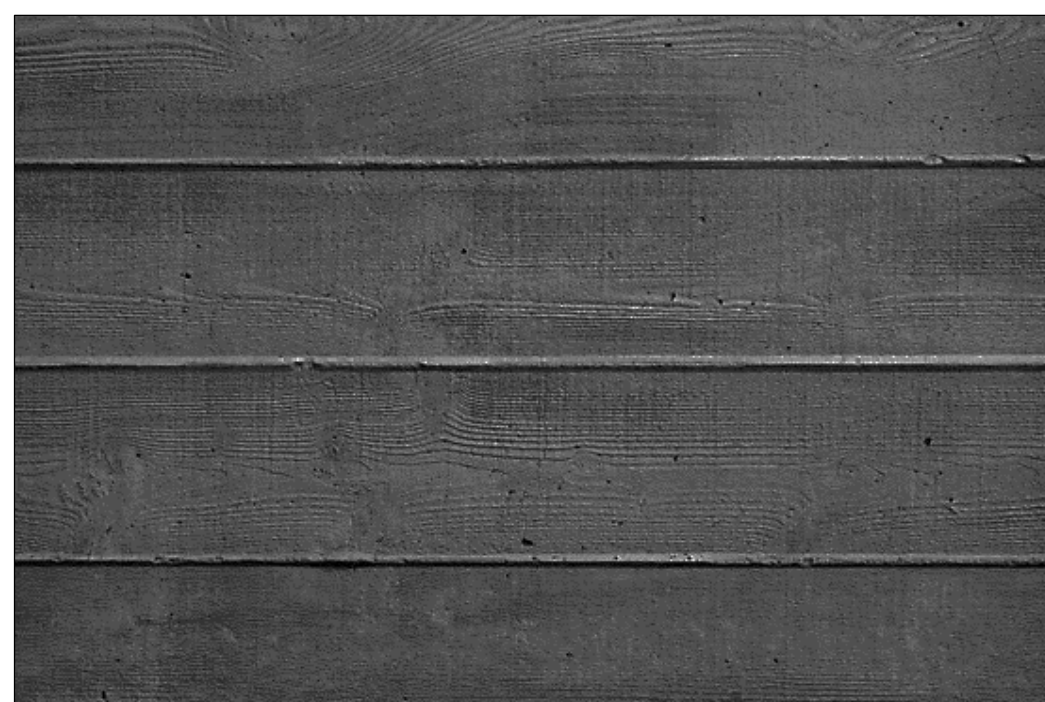
STEEL RAILING
"BRONZE" COLOR



7/8 CORRUGATED BONDERIZED METAL ROOF



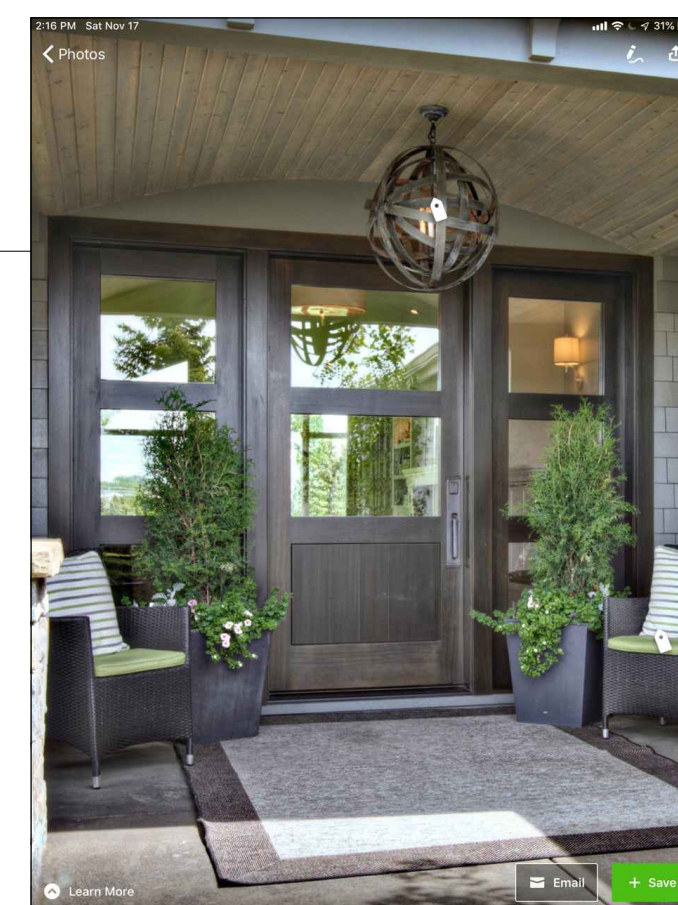
SPRING STREET (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



BOARD FORMED CONCRETE
SOUND WALL



"SIERRA PACIFIC WINDOW"
ALUMINUM CLAD EXTERIOR
"BRONZE" COLOR



WOOD FRONT DOOR



STONE VENEER

Architect:
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1406 Foothill Blvd.
Calistoga, CA

APN: 011-242-014



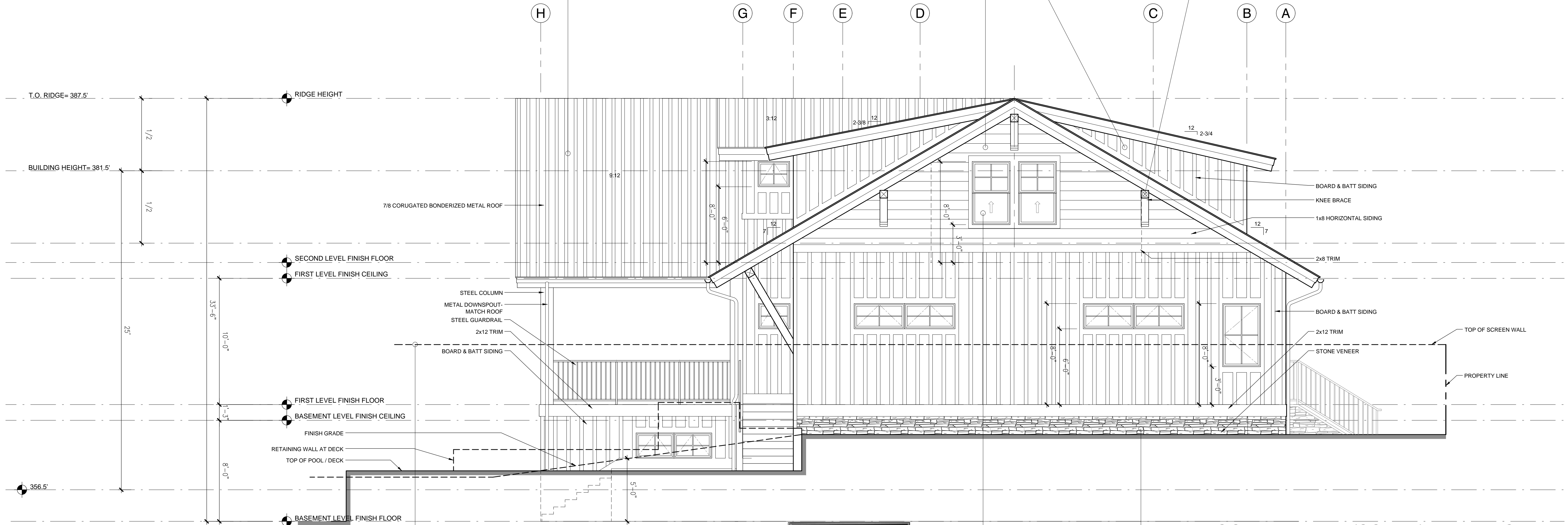
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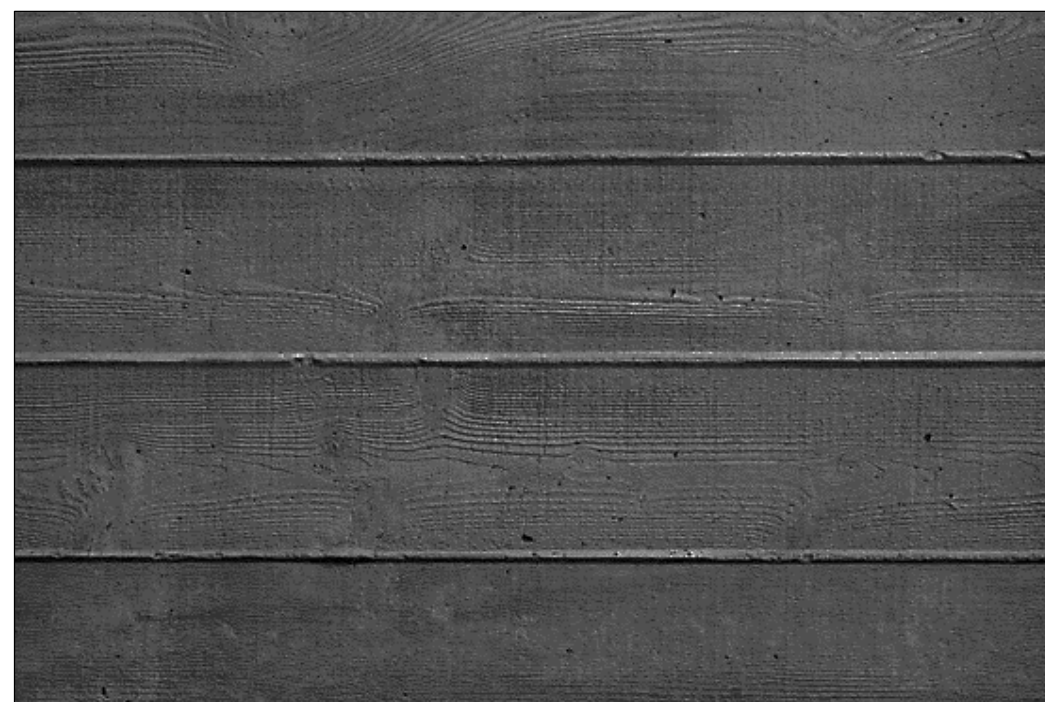
"JAMES HARDIE"
BOARD & BATTEN &
HORIZONTAL SIDING
"ARCTIC WHITE" COLOR



ORIGINAL KNEE BRACE



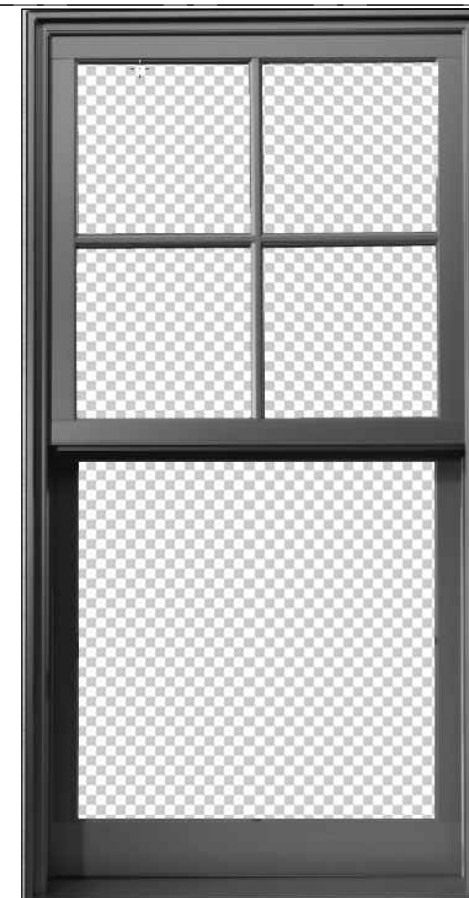
FOOTHILL BLVD. (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



BOARD FORMED CONCRETE
SOUND WALL



Bronze 024



"SIERRA PACIFIC WINDOW"
ALUMINUM CLAD EXTERIOR
"BRONZE" COLOR



STONE VENEER

Drawn by: DBM
Date: 12/09/18
Scale: 1/4" = 1'-0"
Job No.:
Submittals / Revisions:

Sheet Name
ELEVATIONS

A3.1

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1406 Foothill Blvd.
Calistoga, CA

APN: 011-242-014



"JAMES HARDIE"
BOARD & BATTEN
"ARCTIC WHITE" COLOR



STEEL RAILING
"BRONZE" COLOR



7/8 CORRUGATED BONDERIZED METAL ROOF

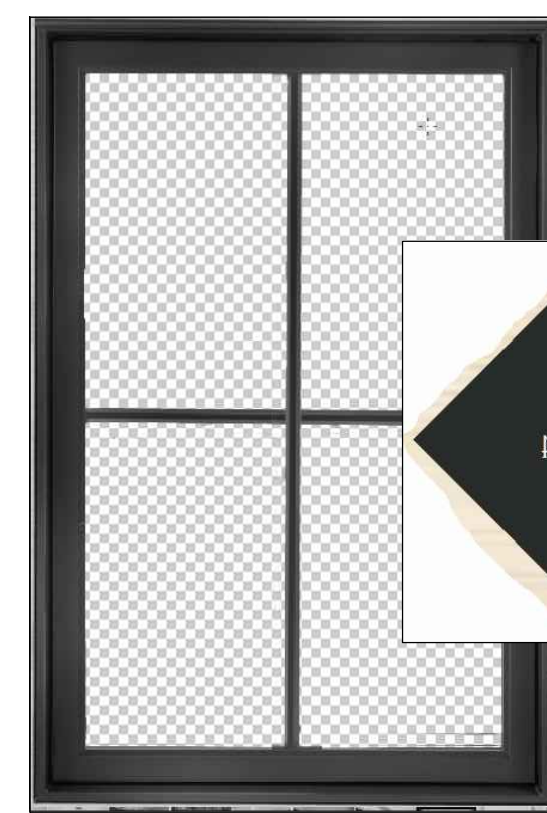


FOOTHILL BLVD.

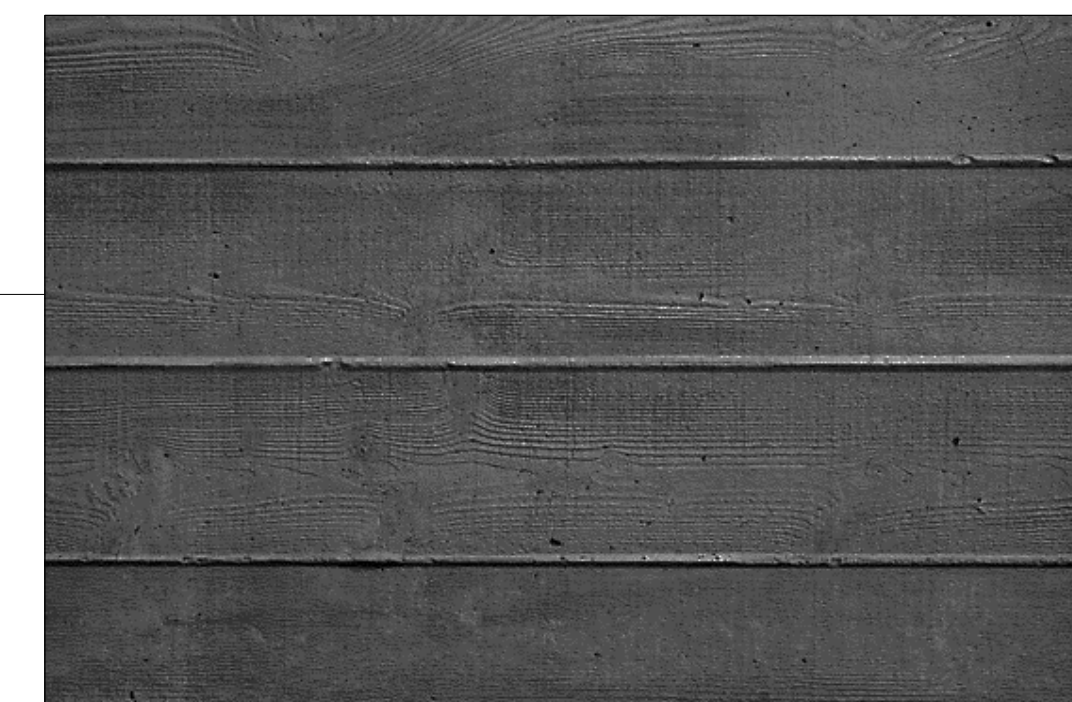
WEST ELEVATION
SCALE: 1/4" = 1'-0"



BONDERIZED METAL GARAGE
DOORS - MATCH ROOF



"SIERRA PACIFIC WINDOW"
ALUMINUM CLAD EXTERIOR
"BRONZE" COLOR



BOARD FORMED CONCRETE
SOUND WALL

Drawn by: DBM
Date: 12/09/18
Scale: 1/4" = 1'-0"
Job No.:
Submittals / Revisions:

Sheet Name
ELEVATIONS

A3.2

Architect:
David MacNeill
3776 Norfolk St.
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(530) 414-1372

1406 Foothill Blvd.
Calistoga, CA

APN: 011-242-014

Drawn by: DBM
Date: 12/09/18
Scale: 1/4" = 1'-0"

Job No.:

Submittals / Revisions:

Sheet Name
ELEVATIONS

A3.3



"JAMES HARDIE"
BOARD & BATTEN
"ARCTIC WHITE" COLOR



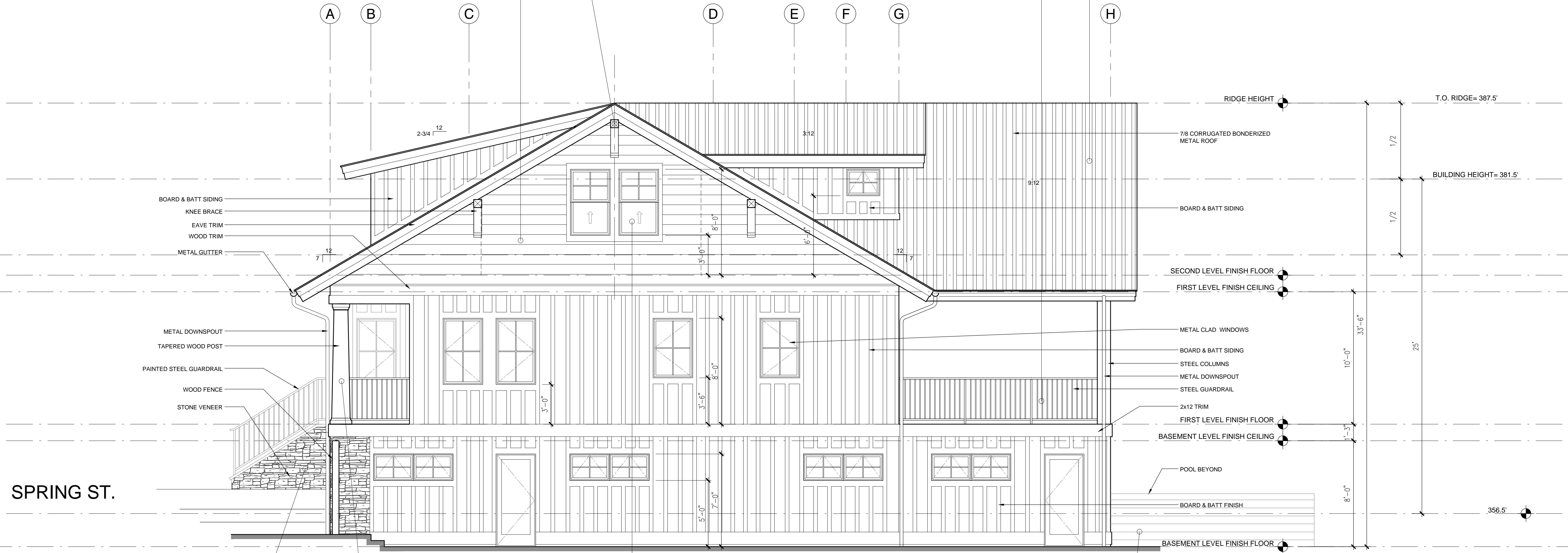
ORIGINAL KNEE BRACE



STEEL RAILING
"BRONZE" COLOR



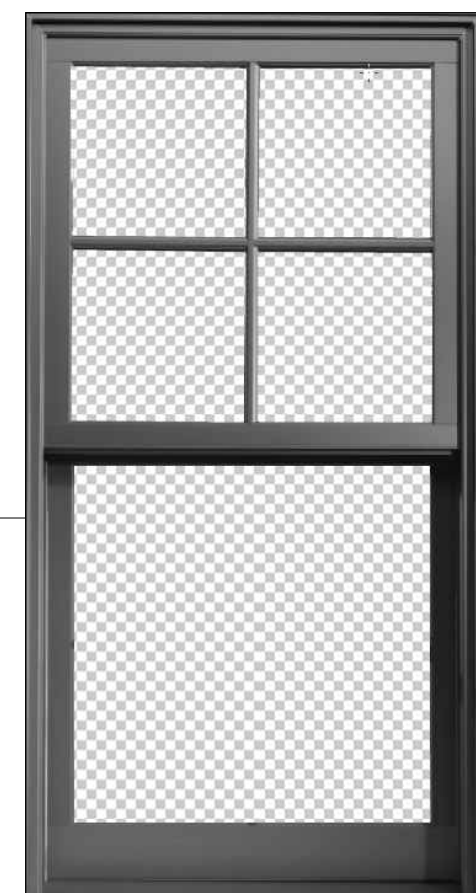
7/8 CORRUGATED BONDERIZED METAL ROOF



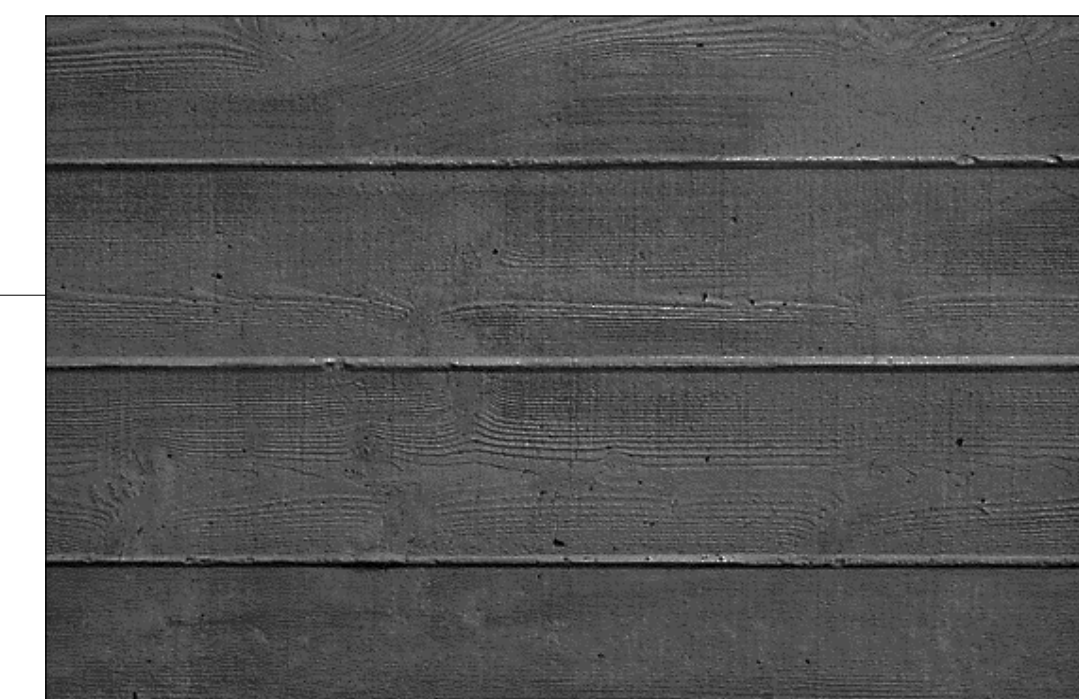
STONE VENEER



ORIGINAL TAPERED
PORCH COLUMN



"SIERRA PACIFIC WINDOW"
ALUMINUM CLAD EXTERIOR
"BRONZE" COLOR



BOARD FORMED CONCRETE
SOUND WALL



COLOR RENDERING

Architect:
David MacNeill
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APN: 011-242-014

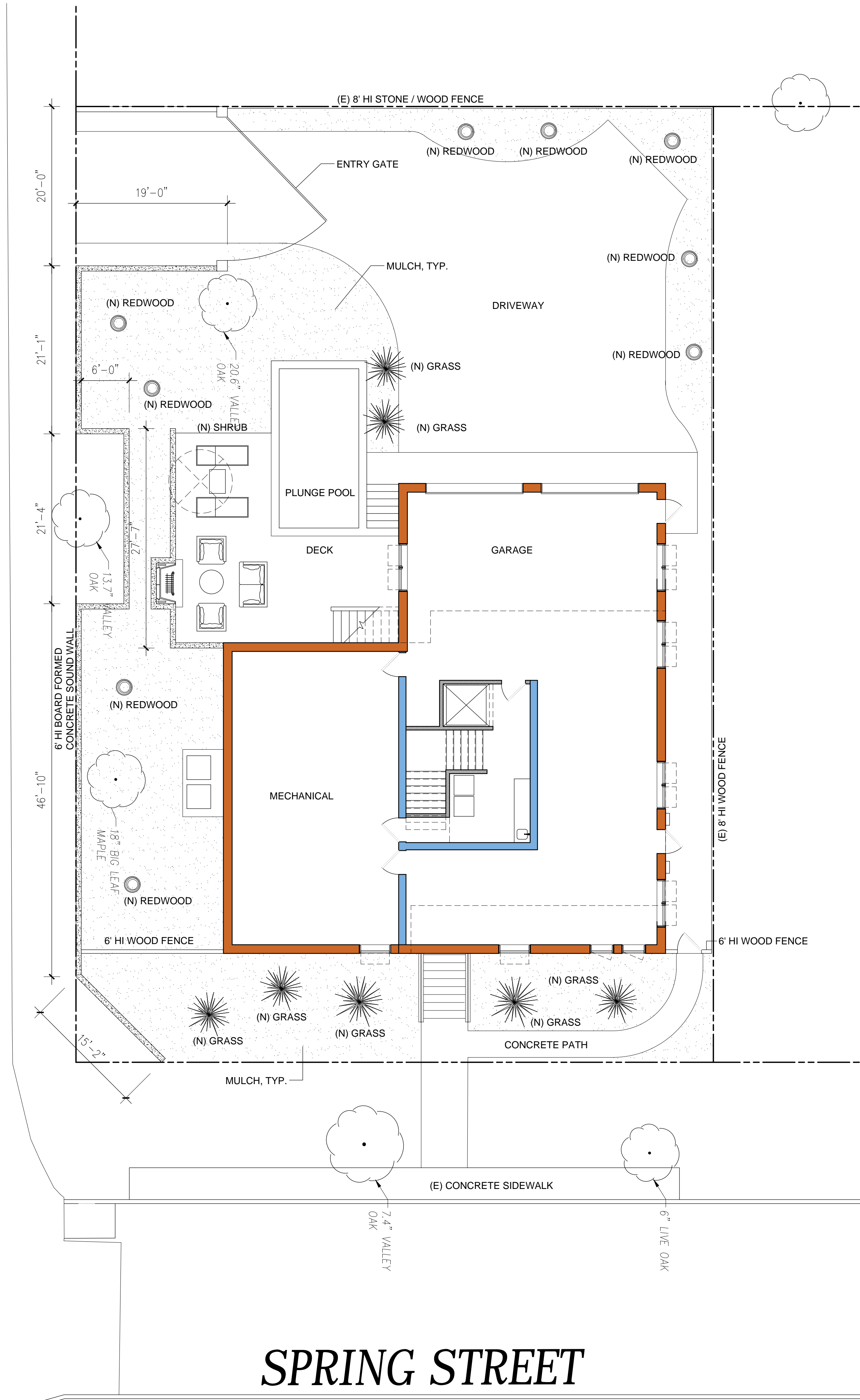
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Scale : NTS
Job No. :

Submittals / Revisions:

Sheet Name
COLOR RENDERING

CR

FOOTHILL BOULEVARD / STATE ROUTE 128



DEER GRASS



REDWOOD

LANDSCAPE / FENCE PLAN
SCALE: 1/8" = 1'-0"

Architect:
David MacNeill
3776 Norfolk St.
Napa, CA 94558
(530) 414-1372

1406 Foothill Blvd.
Calistoga, CA

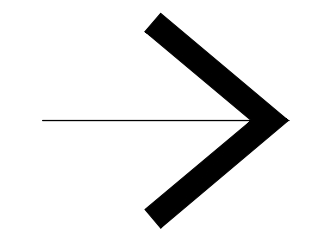
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Sheet Name
LANDSCAPE

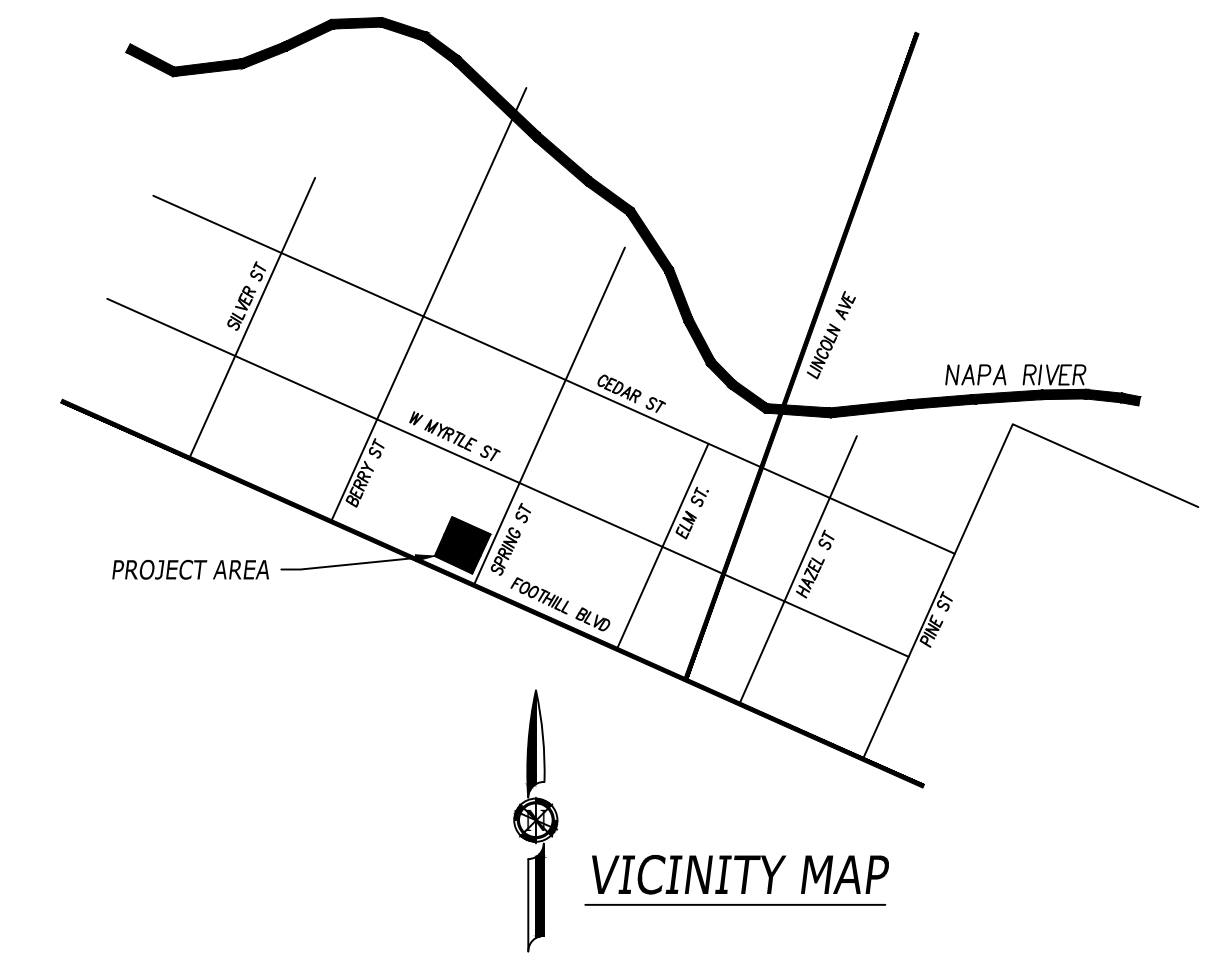
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IMPROVEMENT PLANS FOR PASQUETTI RESIDENCE

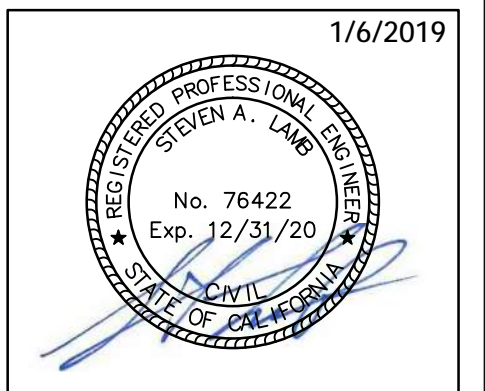
Attachment 4

APN 011-242-014
1406 FOOTHILL BLVD.,
CALISTOGA, CA 94515



LAMB DEVELOPMENT
2059 BENDPOINT WAY
ROSEVILLE, CA 95661
TEL: 916-768-8012
S_LAMB2@HOTMAIL.COM

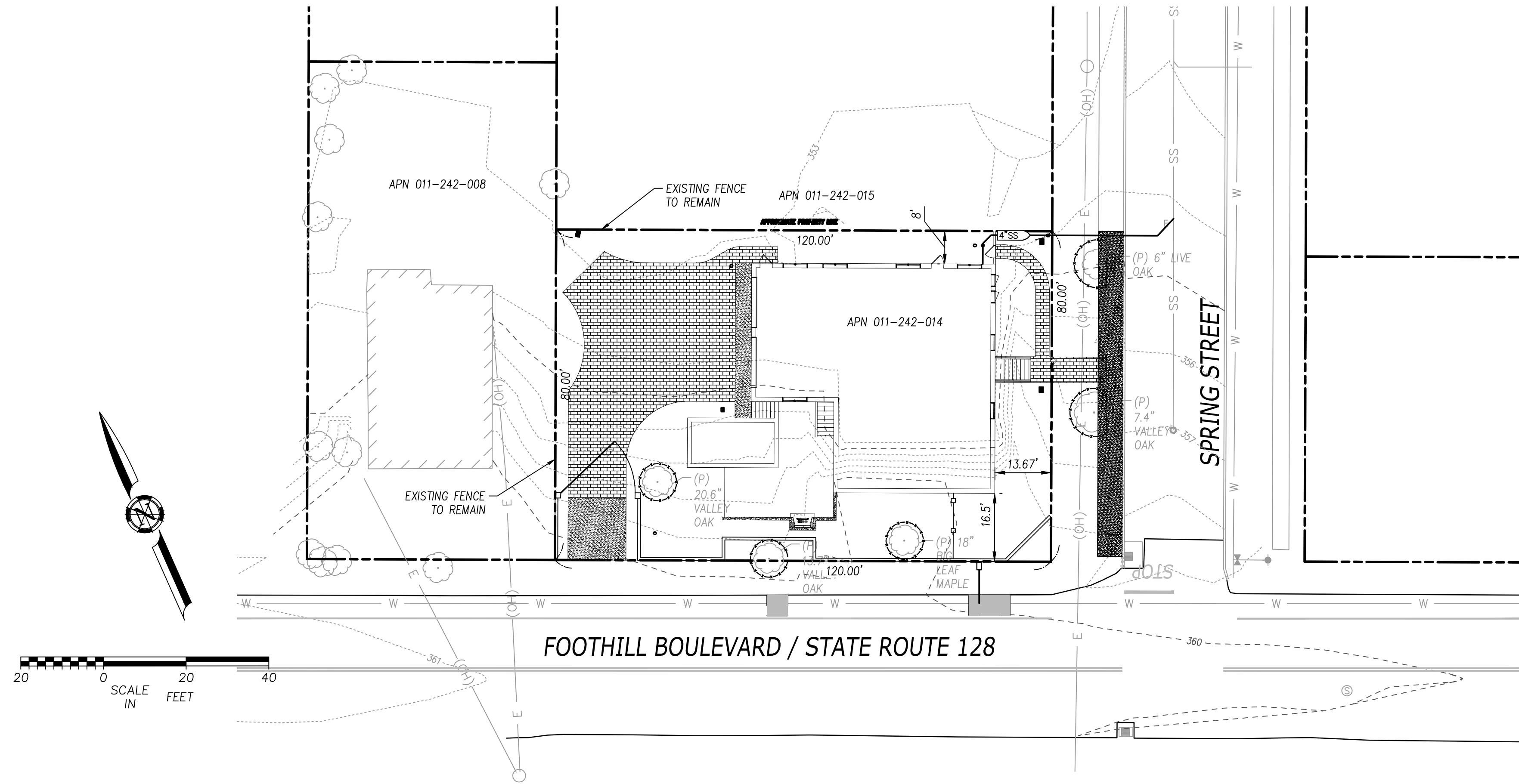
REVISIONS		
MARK	DATE	DESCRIPTION
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CIVIL COVER SHEET
JASON & JENNIFER PASQUETTI
1406 FOOTHILL BLVD.
CALISTOGA, CA 94515

LEGEND:

EXISTING		PROPOSED
---	PARCEL LINE	---
---	EASEMENT LINE	---
---	CENTERLINE	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	STORM DRAIN LINE	---
---	SANITARY SEWER LINE	---
---	WATER LINE	---
---	UNDERGROUND ELECTRICAL LINE	---
---	TELEPHONE/DATA LINE	---
---	GAS LINE	---
---	JOINT TRENCH	---
---	FENCE LINE	---
---	PAVEMENT FLOWLINE	---
---	STORM DRAIN INLET	---
---	CLEANOUT	---
---	FIRE DEPARTMENT CONNECTION	---
---	FIRE HYDRANT	---
---	WATER METER	---
---	WATER VALVE	---
---	BACKFLOW PREVENTOR/ RP DEVICE	---
---	STORM DRAIN MANHOLE	---
---	SEWER MANHOLE	---
---	TELEPHONE MANHOLE	---
---	JOINT POLE	---
---	GUY ANCHOR	---
---	ELECTRICAL BOX/VAULT	---
---	ELECTROLIER	---
---	SIGN	---
---	DRAINAGE ARROW	---
---	TRAFFIC SIGNAL BOX	---
---	STREET LIGHT	---
---	TREE	---
---	TRANSFORMER	---
---	BOLLARD	---



ABBREVIATIONS:

Z	ANGLE	JP	JOINT POLE
AB	AGGREGATE BASE	L=	LENGTH
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AP	ANGLE POINT	LT	LEFT
BC	BEGIN CURVE	LP	LOW POINT
BCR	BEGIN CURB RETURN	ME	MAINTENANCE EASEMENT
BSW	BACK OF SIDEWALK	MH	MANHOLE
C&G	CURB AND GUTTER	MP	MIDPOINT
CG&S	CURB, GUTTER AND SIDEWALK	OC	ON CENTER
CL	CENTER LINE	OH	OVERHEAD
CH	CHORD	PB	PULL BOX
CLR	CLEAR	PCC	POINT OF COMPOUND CURVE
CO	CLEANOUT	PI	POINT OF INTERSECTION
CONC	CONCRETE	P	PROPERTY LINE
CONST	CONSTRUCT	PP	POWER POLE
CR	CURB RETURN	PRC	POINT OF REVERSE CURVE
CS	COMBINED SEWER	PS	PLANTER STRIP
CTRL	CONTROL	PT	POINT
CTV	CABLE TV	PUE	PUBLIC UTILITY EASEMENT
DI	DROP INLET	PVMT	PAVEMENT
DOU	DEPARTMENT OF UTILITIES	RP	REDUCED PRESSURE PRINCIPLE
DRWY	DRIVEWAY		BACKFLOW PREVENTION
DWG	DRAWING		ASSEMBLY
EC	END CURVE	R,R=	RADIUS
ECR	END CURB RETURN	RT	RIGHT
EG	EXISTING GRADE	R/W	RIGHT-OF-WAY
EJ	EXPANSION JOINT	S=	SLOPE
EL, ELEV	ELEVATION	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEANOUT
EX	EXISTING	SDMH	STORM DRAIN MH
FC	FACE OF CURB	SDWK,SW	SIDEWALK
FD, FND	FOUND	SECT	SECTION
FG	FINISHED GROUND	SHT	SHEET
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	SSMH	SANITARY SEWER MH
FM	FORCE MAIN	STA	STATION
G	GAS	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
GFL	GUTTER FLOW LINE	TCE	TEMPORARY CONSTRUCTION
GR	GRATE		ENTRANCE
GV	GATE VALVE		TYPICAL
HP	HIGH POINT	W,WTR	WATER
HR	HANDICAP RAMP	WV	WATER VALVE
INV	INVERT	XW	CROSSWALK
IP	IRON PIPE		

PROJECT INFORMATION

PROPERTY OWNER	JASON AND JENNIFER PASQUETTI - 3032 THUNDER VALLEY COURT, SUITE 200, LINCOLN, CA 95648
SITE ADDRESS	1406 FOOTHILL BLVD., CALISTOGA, CA 94515
ZONING	RESIDENTIAL / PROFESSIONAL OFFICE (R-3)
DOMESTIC & IRRIGATION WATER SOURCE	CITY OF CALISTOGA
FIRE PROTECTION WATER SOURCE	CITY OF CALISTOGA
WASTEWATER DISPOSAL	CITY OF CALISTOGA

CIVIL SHEET INDEX

SHEET #	SHEET TITLE
C0.0	CIVIL COVER SHEET
C0.1	CIVIL GENERAL NOTES SHEET
C1.0	SITE DEMOLITION / TREE PRESERVATION PLAN
C2.0	SITE GRADING & STORM WATER CONTROL PLAN
C3.0	EROSION & SEDIMENT CONTROL PLAN
C4.0	SITE DETAILS

PARCEL NOTES

APN	011-242-014
FLOOD ZONE	ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 0655C0229E EFFECTIVE SEPTEMBER 26, 2008, THE PROJECT IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD DISTRICT
PARCEL AREA	+/- 0.22 ACRES OR ±9,600 S.F.
SITE COVERAGE	HOUSE, POOL & DECK 3,656 SF = 38% SITE COVERAGE
THEORETICAL WATER USE	±382 GPD DOMESTIC; ±200 GPD WASTEWATER

ENGINEERS OPINION OF EARTHWORK

CUT	225 CUBIC YARDS
FILL	266 CUBIC YARD
NET	41 CUBIC YARDS (FILL / IMPORT)

FINAL EARTHWORK QUANTITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT #: PASQUETTI

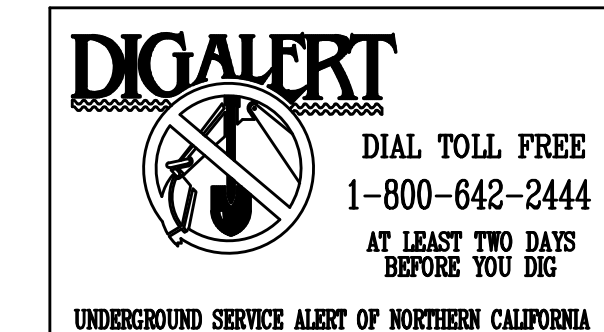
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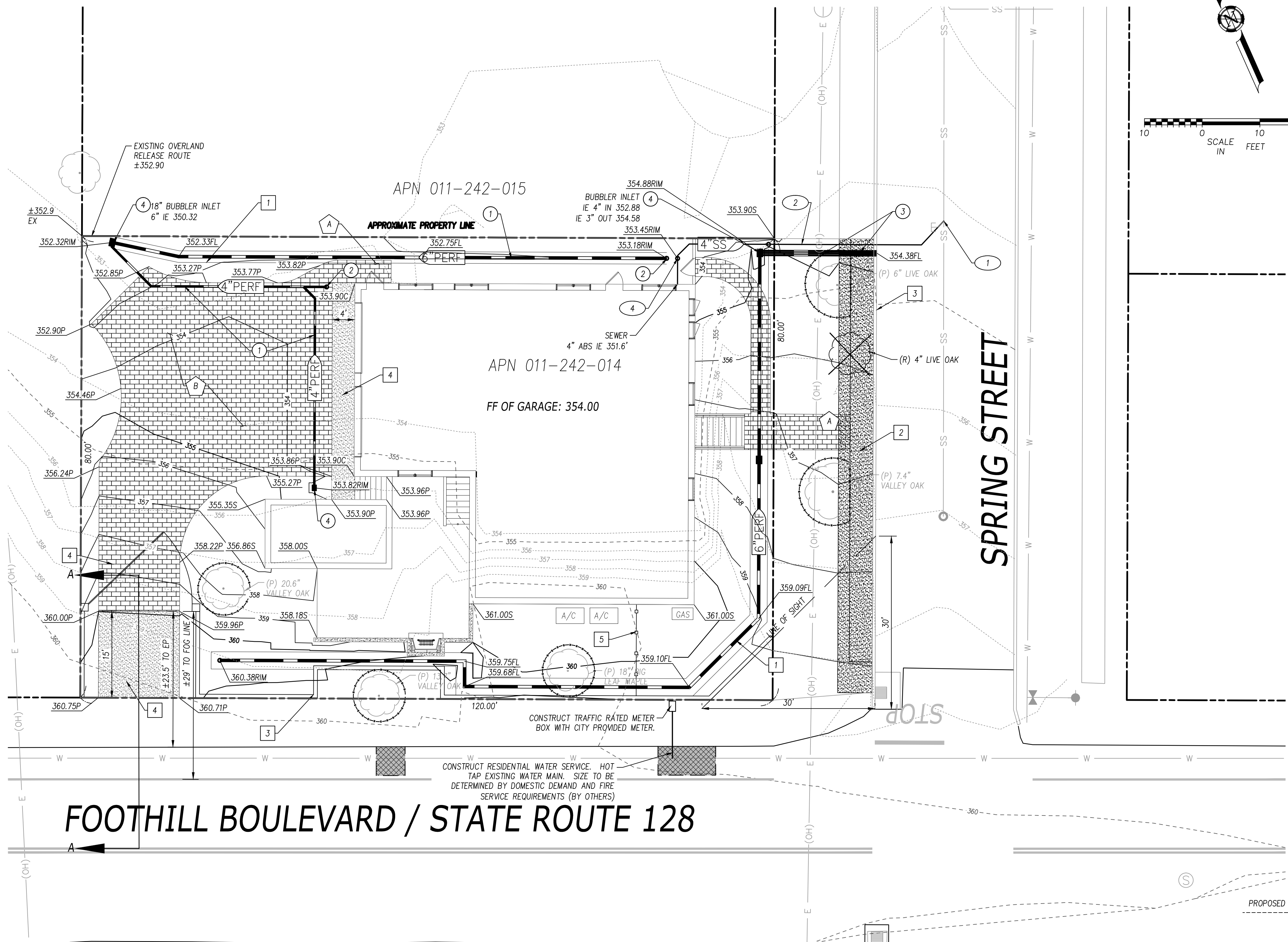
APPROVALS	
DESIGNED BY:	DESIGNER
DRAWN BY:	DRAFTER
CHECKED BY:	ENGINEER

SHEET TITLE
CIVIL COVER SHEET

SHEET NUMBER
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1 OF 6



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GRADING NOTES:

PAVERS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION.
 ALL PAVERS SHALL HAVE A STEEL HEADER OR 6" CONCRETE CURB PLACED ALONG THE EDGES.

- 1 INSTALL INFILTRATION TRENCH PER DETAIL THIS SHEET.
- 2 CONSTRUCT 6" WIDE SIDEWALK PER CITY OF CALISTOGA STANDARDS
- 3 CONSTRUCT 6" SCREEN WALL AND GATE
- 4 CONSTRUCT 6" PCC CONCRETE APRON WITH 3,000 PSI CONCRETE
- 5 CONSTRUCT 6" TALL FENCE

WATER NOTES:

ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A CALTRANS ENCROACHMENT PERMIT AND APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 ALL WATER MATERIALS AND INSTALLATION SHALL BE INSTALLED PER CITY OF CALISTOGA AND OR THE WATER SUPPLIERS SPECIFICATIONS AS WELL AS COMPLIANCE WITH THE CBC.
 FINAL SIZING OF THE WATER SERVICE SHALL BE DETERMINED BY THE FIRE FLOW REQUIREMENTS AND CITY STANDARDS.

SEWER NOTES:

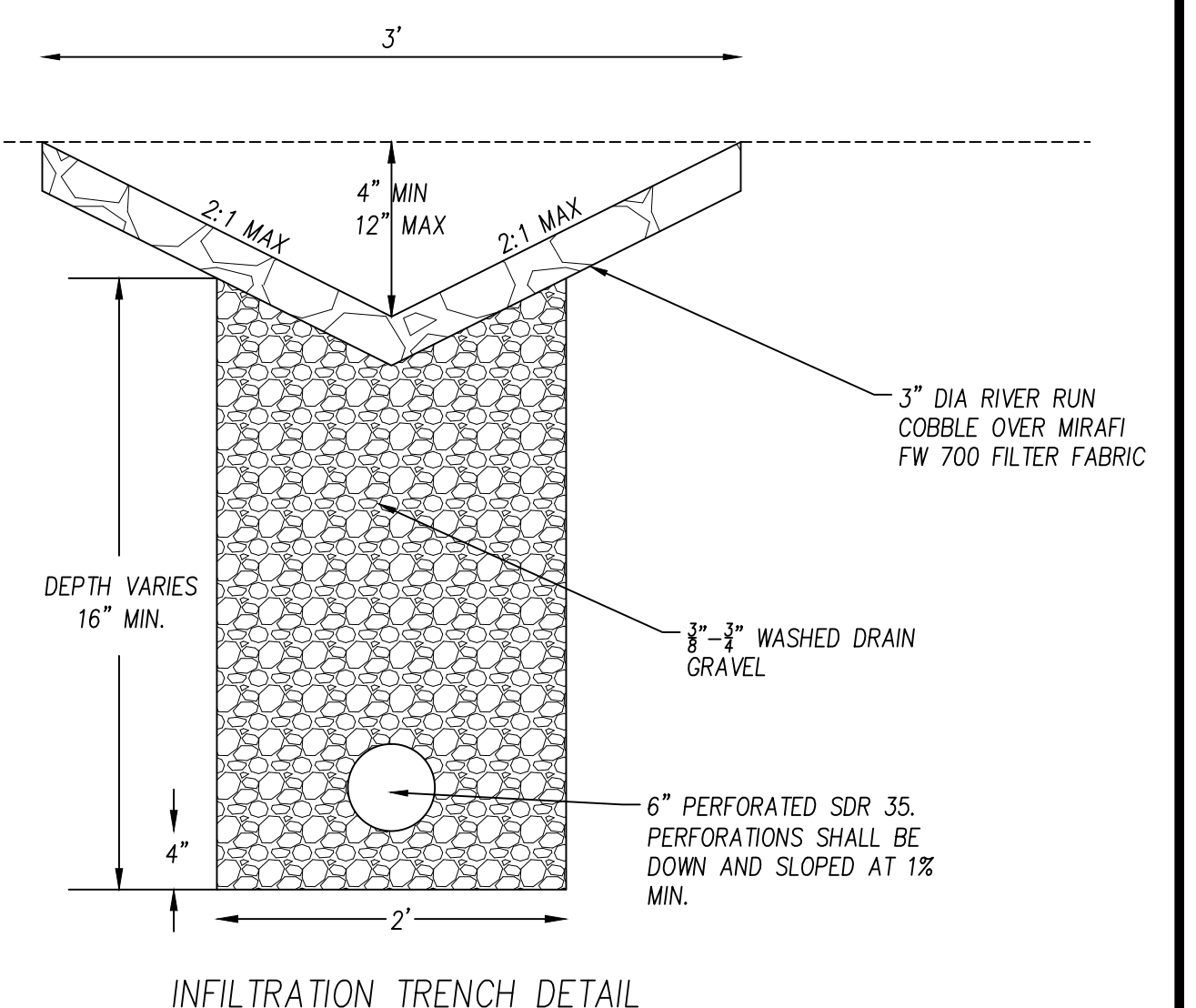
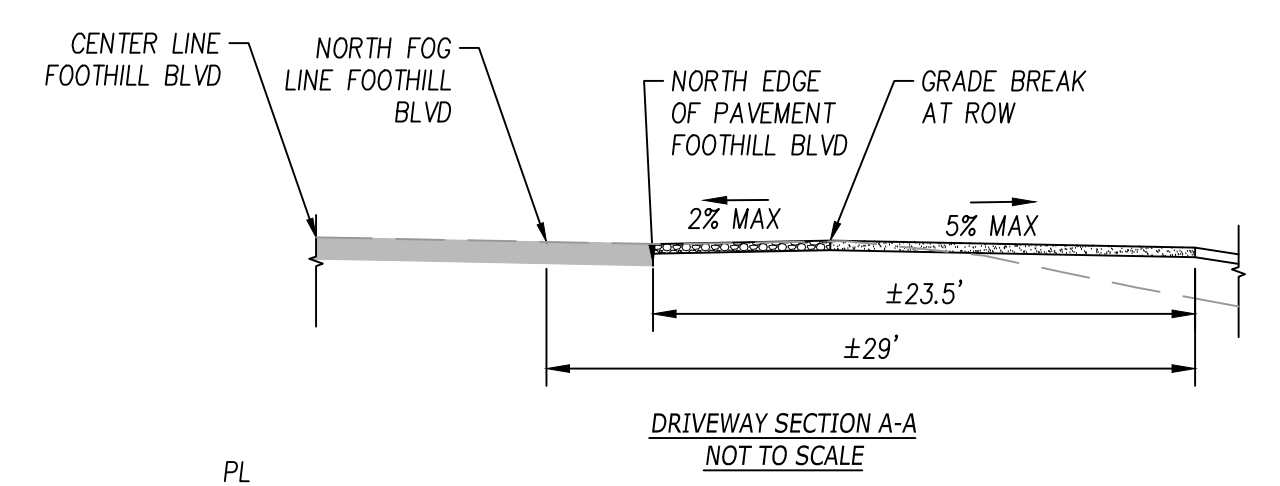
- 1 ****AS A FIRST ORDER OF WORK CONTRACTOR TO POTHOLE AND VERIFY SEWER SERVICE HAS A MINIMUM INVERT OF 350.55' OR LOWER. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES WITH INVERT ELEVATION AS A GRINDER / INJECTION PUMP MAY BE REQUIRED.
- 2 CONTRACTOR SHALL INSTALL ~54 LF SEWER SERVICE PER CITY STANDARDS AT MINIMUM 2%
- 3 INSTALL SEWER SEWER CLEANOUT AT BACK OF ROW PER CITY OF SANTA ROSA STANDARDS
- 4 INSTALL SEWER BACKWATER VALVE PER CITY OF SANTA ROSA STD 527

DRAINAGE NOTES:

- 1 INSTALL PERFORATED PIPE, SIZE PER PLANS. SLOPE PIPE AT 0.5% MINIMUM
- 2 INSTALL STORDRAIN CLEANOUT AND CAP.
- 3 INSTALL 3 - 3" SCH 80 PVC PIPES TO RECTANGULAR UNDER SIDEWALK DRAIN. UNDER SIDEWALK DRAIN SHALL HAVE A SOLID 3/8" - 1/2" NON SKID REMOVABLE LID.
- 4 INSTALL 18" DROP INLET

PAVING LEGEND

- A PROPOSED PEDESTRIAN SOLID UNIT PAVERS ON SAND: 2-3/8" THICK PAVES/1.5" SAND/6" BASE - SEE DETAIL 1 ON SHEET C4.0. BASALITE ITALIAN RENAISSANCE OR APPROVED EQUIVALENT.
- B PROPOSED PERMEABLE PAVEMENT SOLID UNIT PAVERS ON GRAVEL: 3-1/8" THICK PAVES/2" NO. 8/4" NO. 57/10" NO. 2 BASE - SEE DETAIL 2 ON SHEET C4.0. BASALITE SF RIMA (DIAGONAL LAYOUT) OR APPROVED EQUIVALENT.



FOOTHILL BOULEVARD / STATE ROUTE 128

RAINFALL DATA

STORM FREQUENCY (24 HR)	2 - YEAR	10 - YEAR	100 - YEAR
RAINFALL (IN):	4.42	6.64	9.57
PRECIPITATION FREQUENCY (IN/HR) 5 MIN DURATION	2.29	3.24	4.70

PRE AND POST DEVELOPMENT SITE CONDITIONS OF THE 0.22 AC (9,600 SF) SITE

PRE-DEVELOPMENT SITE INCLUDES A 2,300 SF RESIDENCE AND 7,300 SF OF PERVIOUS AREA. UTILIZING A RUNOFF COEFFICIENT OF 0.90 FOR THE RESIDENCE UTILIZING A RUNOFF COEFFICIENT OF 0.45 FOR THE PERVIOUS AREA THE WEIGHTED PRE DEVELOPMENT RUNOFF COEFFICIENT : 0.55

BY RATIONAL METHOD FOR THE FOLLOWING PRE-DEVELOPMENT FLOWS EXIST
 5 - MIN DURATION 24-HR
 2-YR 0.55 X 2.29 X 0.22 = 0.27 CFS 2-YR 0.55 X 0.184 X 0.22 = 0.022 CFS
 10-YR 0.55 X 3.24 X 0.22 = 0.39 CFS 10-YR 0.55 X 0.277 X 0.22 = 0.033 CFS
 100-YR 0.55 X 4.70 X 0.22 = 0.57 CFS 100-YR 0.55 X 0.399 X 0.22 = 0.048 CFS

POST-DEVELOPMENT SITE INCLUDES A 3,656 SF RESIDENCE AND 5,944 SF OF PERVIOUS AREA. UTILIZING A RUNOFF COEFFICIENT OF 0.90 FOR THE RESIDENCE UTILIZING A RUNOFF COEFFICIENT OF 0.45 FOR THE PERVIOUS AREA THE WEIGHTED PRE DEVELOPMENT RUNOFF COEFFICIENT : 0.62

BY RATIONAL METHOD FOR THE FOLLOWING POST-DEVELOPMENT FLOWS EXIST
 5 - MIN DURATION 24-HR
 2-YR 0.62 X 2.29 X 0.22 = 0.31 CFS 2-YR 0.62 X 0.184 X 0.22 = 0.025 CFS
 10-YR 0.62 X 3.24 X 0.22 = 0.44 CFS 10-YR 0.62 X 0.277 X 0.22 = 0.038 CFS
 100-YR 0.62 X 4.70 X 0.22 = 0.64 CFS 100-YR 0.62 X 0.399 X 0.22 = 0.0544 CFS

ESTIMATING AN AVERAGE VOID SPACE RATIO IN THE INFILTRATION TRENCHES OF 40% AND VOID SPACES IN THE PAVERS OF 20% THE AVERAGE DETENTION VOLUME IS AS FOLLOWS:

VOLUME OF INFILTRATION TRENCHES:
 260 LF OF TRENCHES, 2' WIDE BY 1' DEEP WITH 40% VOIDS = ± 208 CUBIC FEET OF STORAGE

VOLUME OF PAVES SUB GRADE:
 1,948 SF PAVERS WITH 12" OF OPEN GRADE GRAVEL WITH 20% VOIDS = ± 389 CUBIC FEET OF STORAGE

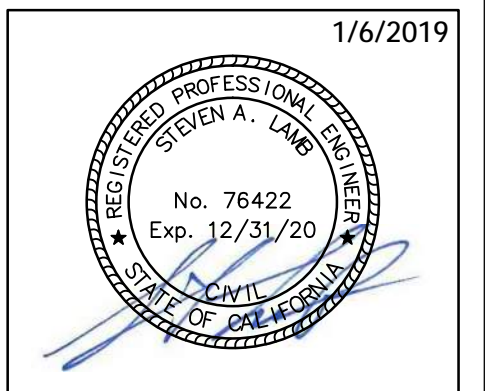
TOTAL DETENTION PROVIDED = ± 597 CUBIC FEET

3,742 SF LANDSCAPING

LAMB DEVELOPMENT
 2059 HENPOINT WAY
 ROSEVILLE, CA 95661
 TEL: 916-709-8012
 S_LAMB2@HOTMAIL.COM

REVISIONS

MARK	DATE	DESCRIPTION



GRADING & STORMWATER CONTROL PLAN
JASON & JENNIFER PASQUETTI
 1406 FOOTHILL BLVD.
 CALISTOGA, CA 94515

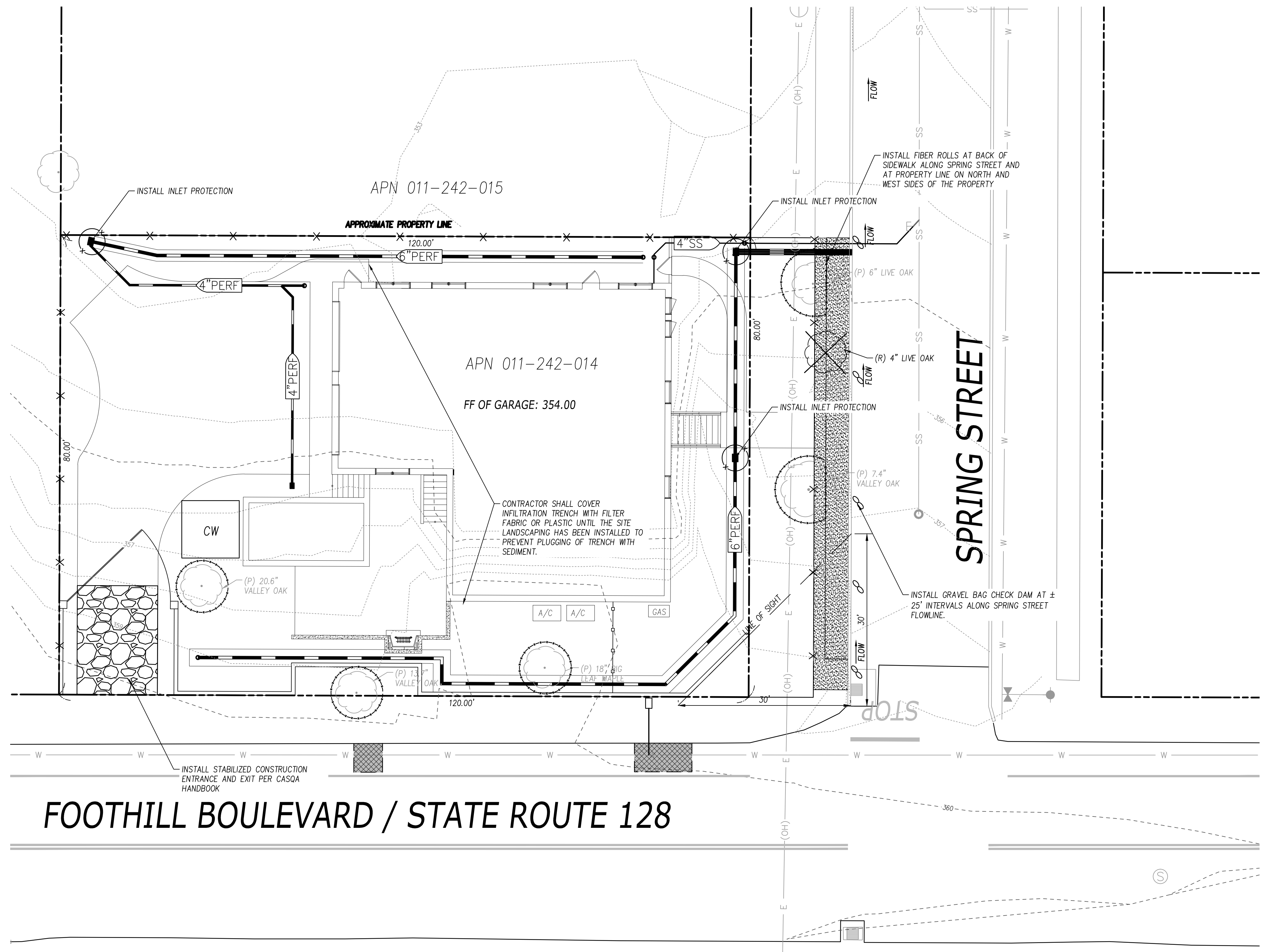
PROJECT #: PASQUETTI
 SCALE: SEE SHEET
 DATE: 1/6/2019

APPROVALS
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 DRAWN BY: DRAFTER
 CHECKED BY: ENGINEER

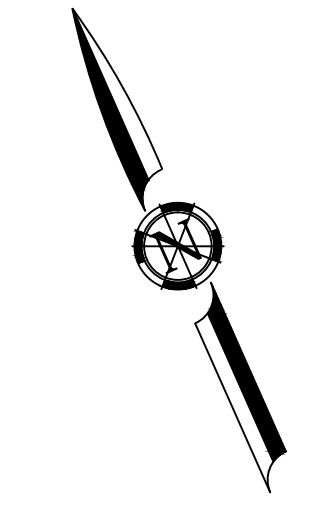
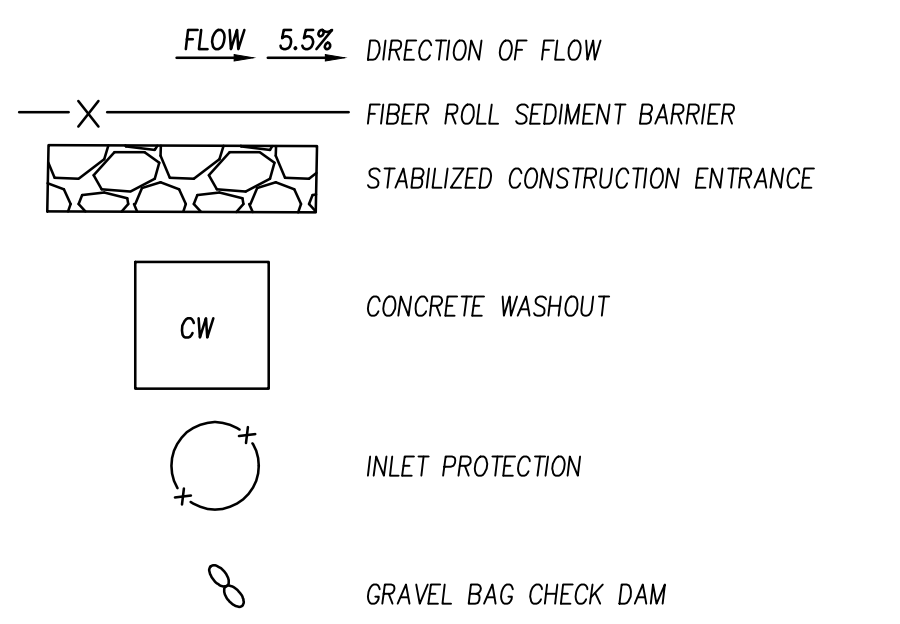
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 GRADING & STORMWATER PLAN

SHEET NUMBER
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STORMWATER QUALITY LEGEND:



EROSION CONTROL & STORMWATER QUALITY NOTES:

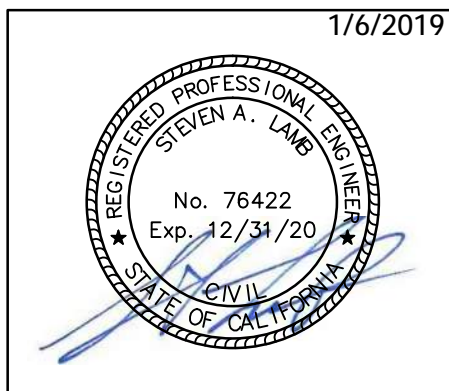
- CONTRACTOR SHALL FOLLOW CITY M&A GENERAL PERMIT REQUIREMENTS AND COMPLY WITH CITY INSPECTOR DIRECTIVES IF DUST AND / OR EROSION CONTROL MEASURES ARE NOT ADEQUATE.
- GROUNDWATER LEVELS AT THIS LOCATION FLUCTUATE AND DRAINING MAY REQUIRE DETERMINING. ALL DETERMINING OPERATIONS MUST IMPLEMENT APPROPRIATE FILTRATION BARRIERS TO TREAT WATER BEFORE DISCHARGING TO DRAINAGE DITCH.
- CONTRACTOR SHALL IMPLEMENT NAPA COUNTY STANDARD CONSTRUCTION SITE BMPs THROUGHOUT THE DURATION OF CONSTRUCTION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (WATER BARRIERS, SILT FENCE & STRAW BATTLES) MUST BE INSTALLED BY OCTOBER 15TH.
- ALL EROSION CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE RAINY SEASON (OCTOBER 15TH THROUGH APRIL 15TH). INSPECTIONS MUST BE PERFORMED AT LEAST ONCE PER WEEK DURING EXTENDED DRY PERIODS, IMMEDIATELY BEFORE ANTICIPATED RAIN EVENTS, ONCE EVERY 24 HOURS DURING EXTENDED RAIN EVENTS AND IMMEDIATELY FOLLOWING EACH RAIN EVENT.
- ALL DISTURBED AREAS ARE TO BE STABILIZED BY PLANTING OF AN EROSION CONTROL COVER CROP PRIOR TO APPLYING THE EROSION CONTROL SEED BLEND. THE SEED BLEND SHOULD BE PREPARED BY UNIFORMLY SCARPING THE GROUND SURFACE TO A DEPTH OF 180 TO FOUR INCHES AND CONDITIONING TO BREAK UP LARGE PEGS.
- THE COVER CROP SEED BLEND SHOULD BE BROADCAST OR DRILLED AFTER THE SEED BED HAS BEEN PREPARED.
- THE COVER CROP SEED MIX SHOULD BE APPLIED AT THE FOLLOWING RATES:
 - BLAND BROME - 25 LB/ACRE
 - ZORRO FESCUE - 10 LB/ACRE
 - ORISON CLOVER - 5 LB / ACRE
 - ROSE CLOVER - 8 LB/ACRE
- ALL SEEDING AREAS ARE TO BE FERTILIZED TO PROMOTE SUCCESSFUL ESTABLISHMENT OF THE COVER CROP. THE RECOMMENDED FERTILIZER IS AMMONIUM PHOSPHATE (16-20-0) APPLIED AT A RATE OF 250 POUNDS PER ACRE.
- AFTER THE SEED AND FERTILIZER HAVE BEEN PLACED THE SEEDING AREA SHOULD BE RAKED, GRADDED OR HARROWED TO ENSURE THAT SEEDS ARE PROPERLY BEDDED.
- ALL DISTURBED AREAS ARE TO BE MULCHED WITH STRAW AT A RATE OF 3,000 POUNDS PER ACRE TO PROTECT THE BARE SOILS WHILE THE COVER CROP IS GETTING ESTABLISHED.
- STRAW SHOULD BE SPREAD BY HAND IN A MANNER THAT PROMOTES FORMATION OF AN INTERWOVEN MATTING. COMING STRAW INTO THE SOIL IS HIGHLY DISCOURAGED ON ESPECIALLY MOIST SITES AND IS MANDATORY ON SITES WHERE STRAW IS MECHANICALLY CROPPED AND BLOWN INTO PLACE.
- ALL SOIL CUT AND FILL SLOPES THAT ARE STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) AND ALL DRAINAGE CHANNELS MUST BE COVERED WITH NORTH AMERICAN GREEN OZONER EROSION CONTROL BLANKET AFTER THE EROSION CONTROL SEED AND FERTILIZER HAVE BEEN PLACED.
- CONTRACTOR MUST MAINTAIN AN ADEQUATE SUPPLY OF EROSION CONTROL MATERIALS ON-SITE TO FACILITATE MAINTENANCE AND REPAIR THROUGHOUT THE RAINY SEASON. THESE MATERIALS SHOULD BE KEPT ON-SITE AND SHOULD INCLUDE STRAW MATS, SEDIMENT BARRIERS, GRAVEL BAGS, EROSION CONTROL BLANKETS, STRAW AND EROSION CONTROL SEED MIX.
- ALL SEEDING AREAS MUST BE INSPECTED FOR FAILURES DURING THE RAINY SEASON AND REPAIRED IMMEDIATELY BY TEMPORARY MULCHING OR OTHER REVEGETATION PRACTICES.
- AREAS EXPOSED TO EXCESSIVE WIND AND VEHICLE TRAFFIC SHOULD BE INSPECTED DAILY FOR DUST CONTROL. SPRINKLE THE EXPOSED AREA WITH WATER OR APPLY STABILIZERS AT APPROPRIATE INTERVALS BASED ON WIND DO NOT SPRINKLE EXCESSIVELY AND CAUSE NON-STORMWATER DISCHARGE FROM THE SITE.
- INSPECT ALL SEDIMENT BARRIERS, INLET PROTECTION DEVICES AND OTHER STORMWATER QUALITY BEST MANAGEMENT PRACTICES BEFORE AND AFTER RAINFALL EVENTS AND BEFORE ANY MAINTENANCE OR REPAIR. CONTRACTOR SHALL REMOVE AND REPAIR DEFECTIVE BARRIERS IMMEDIATELY. CONTRACTOR SHALL REMOVE AND REPAIR DEFECTIVE BARRIERS IMMEDIATELY TO ENSURE PROPER FUNCTION.
- WASTE COLLECTION AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES AND STORMWATER CONVEYANCE SYSTEMS.
- DUMPSTERS SHALL BE SECURELY COVERED AT NIGHT AND DURING WET WEATHER. DUMPSTERS SHALL BE INSPECTED FREQUENTLY FOR LEAKS. ANY LEAKING MATERIAL FROM DUMPSTERS SHALL BE COLLECTED AND PROPERLY DISPOSED OF. CONTRACTOR SHALL ARRANGE FOR ADEQUATE DEBRIS DISPOSAL SCHEDULES TO ENSURE DUMPSTERS DO NOT OVERFLOW.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND TWEETING ROADWAYS AND PAVED AREAS WHERE WORK IS BEING CONDUCTED AT THE END OF EACH WORKING DAY. SWEEPING IS NOT EFFECTIVE IF SEDIMENT IS WET OR CAKED. WET OR CAKED SEDIMENT SHALL BE SCRAPED.
- CONTRACTOR SHALL MONITOR ON-SITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES TO MINIMIZE POTENTIAL FOR STORMWATER CONTAMINATION.
- CONTRACTOR SHALL ROUTINELY POLICE THE CONSTRUCTION SITE FOR LITTER AND DEBRIS.
- ANY HAZARDOUS WASTE GENERATED FROM THE SITE SHALL BE PROPERLY LABELED AND SHALL BE DISPOSED OF AT AUTHORIZED TREATMENT, STORAGE AND DISPOSAL FACILITIES.
- TEMPORARY HAZARDOUS WASTE MATERIAL STORAGE SHALL BE LOCATED AWAY FROM ALL WATER COURSES AND STORM WATER CONVEYANCE SYSTEMS.
- HAZARDOUS WASTE MATERIALS SHALL BE STORED IN AREAS NOT SUSCEPTIBLE TO RAIN AND CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT IN CASE OF SPILLS OR LEAKS. IN THE EVENT OF A HAZARDOUS SPILL OR LEAK, CONTRACTOR SHALL NOTIFY THE STATE OFFICE OF EMERGENCY SERVICES (800) 852-7550 AND THE NAPA COUNTY PLANNING, BUILDING AND ENVIRONMENTAL SERVICES DEPARTMENT (707) 253-4471.
- SPILLS SHALL BE IMMEDIATELY CLEANED UP AND CONTAMINATED SOILS AND CLEAN UP MATERIALS SHALL BE DISPOSED OF PROPERLY. DRY SPILLS SHALL BE SWEEPED AND WET SPILLS ON IMPERVIOUS SURFACES SHALL BE ABSORBED AND ABSORBENT MATERIALS PROPERLY DISPOSED OF. WET SPILLS ON SOIL SHALL BE SOAKED UP AND ALL EXPOSED SOILS PROPERLY DISPOSED OF.
- MAJOR MAINTENANCE / REPAIR AND WASHING OF CONSTRUCTION EQUIPMENT SHALL OCCUR OFF-SITE.
- CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED REGULARLY AND INSPECTED FREQUENTLY FOR DAMAGED HOSES, LEAKY GASKETS OR OTHER SERVICE PROBLEMS.
- CONTRACTOR SHALL VERIFY WEEKLY THAT SUFFICIENT SPILL CONTROL AND CLEAN UP MATERIALS ARE LOCATED NEAR MATERIAL STORAGE, UNLOADING AND USE AREAS.
- CONTRACTOR SHALL UPDATE ON-SITE SPILL PREVENTION AND CONTROL PLANS AND STOCK APPROPRIATE CLEAN UP MATERIALS WHENEVER CHANGES OCCUR ON-SITE.
- CONTRACTOR IS RESPONSIBLE FOR TRAINING EMPLOYEES AND SUBCONTRACTORS ON CONSTRUCTION SITE MANAGEMENT AND BEST MANAGEMENT PRACTICES.

FOOTHILL BOULEVARD / STATE ROUTE 128

LAMB DEVELOPMENT
 2059 RENOPIENT WAY
 ROSEVILLE, CA 95661
 TEL: 916-708-8012
 S_LAMB2@HOTMAIL.COM

REVISIONS

MARK	DATE	DESCRIPTION
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EROSION & SEDIMENT CONTROL PLAN

JASON & JENNIFER PASQUETTI
 1406 FOOTHILL BLVD.
 CALISTOGA, CA 94515

PROJECT #: PASQUETTI

SCALE: SEE SHEET

DATE: 1/6/2019

APPROVALS

DESIGNED BY:	DESIGNER
DRAWN BY:	DRAFTER
CHECKED BY:	ENGINEER

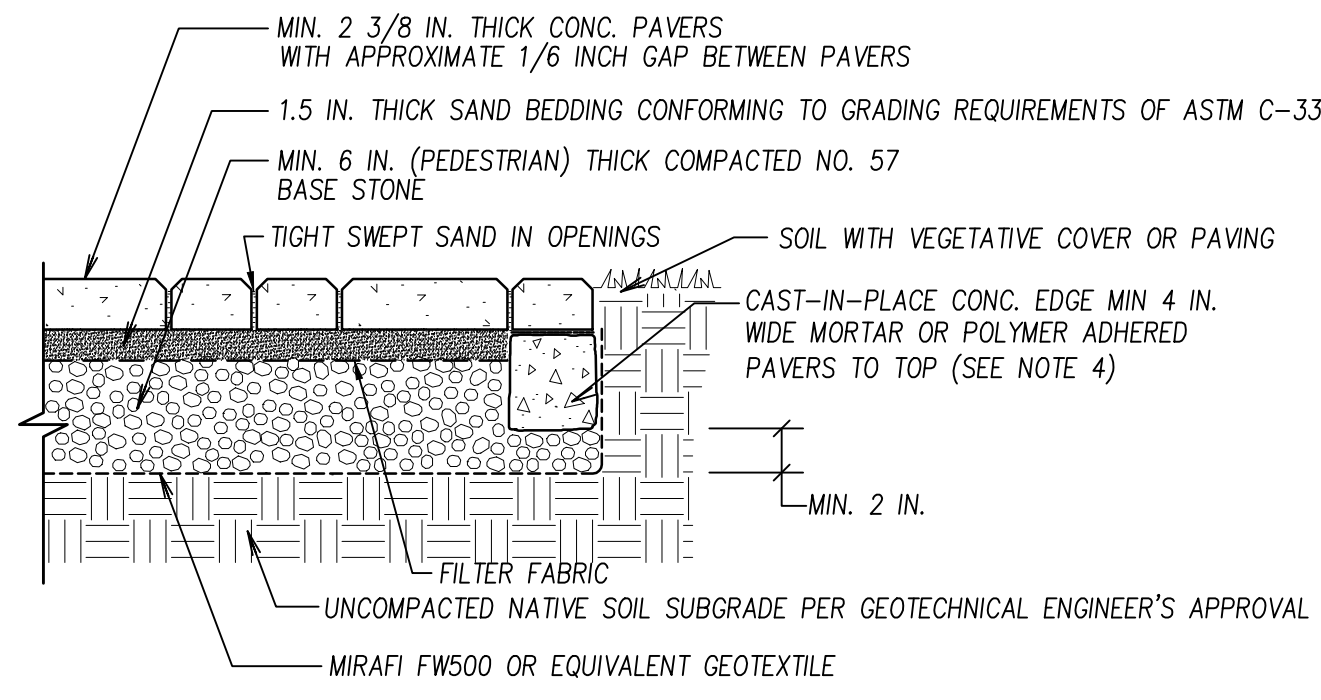
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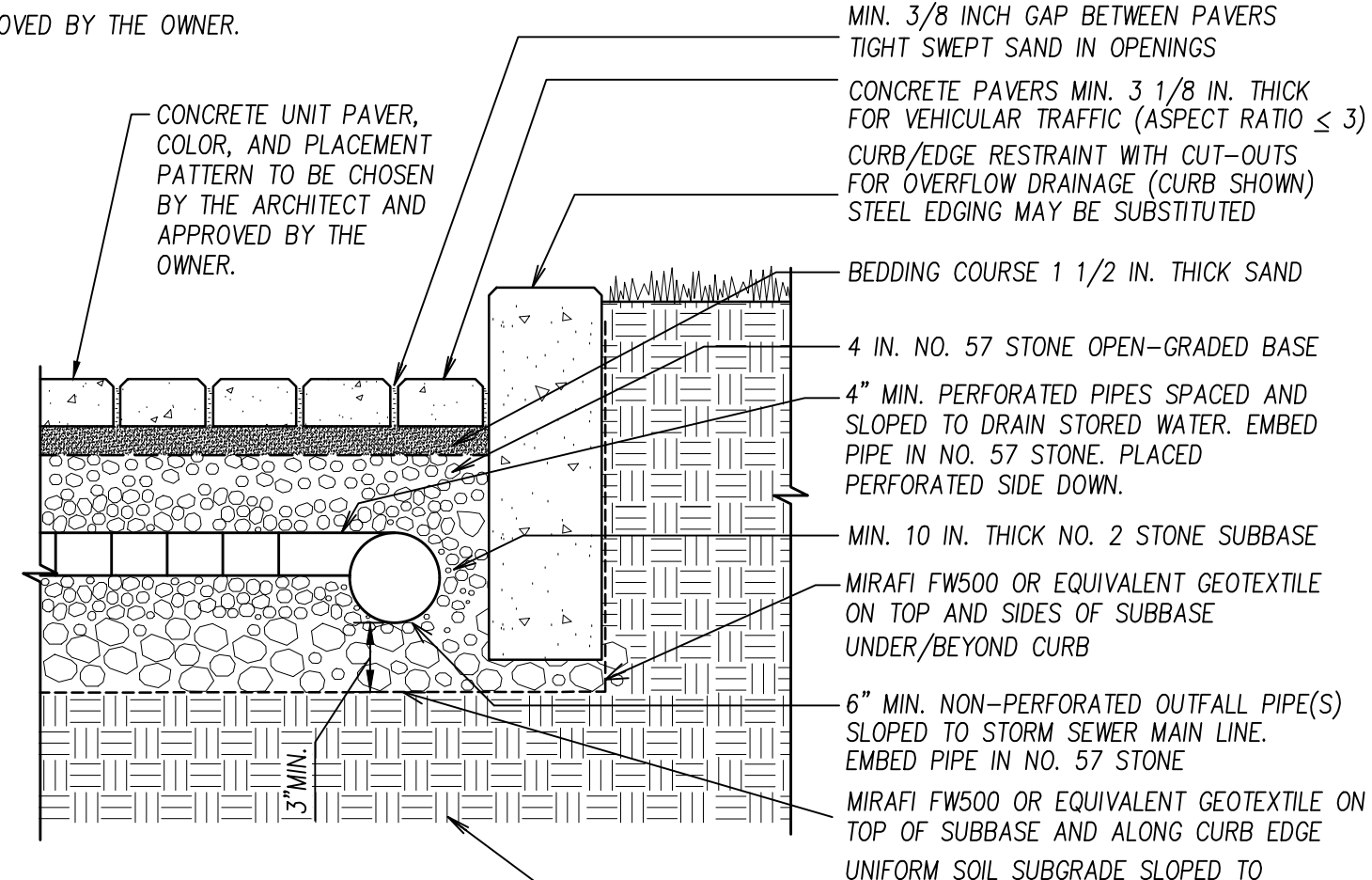
SHEET NUMBER

C3.0
5 OF 6

CONCRETE UNIT PAVER, COLOR, AND PLACEMENT PATTERN TO BE CHOSEN BY THE ARCHITECT AND APPROVED BY THE OWNER.



PEDESTRIAN APPLICATION



VEHICULAR APPLICATION

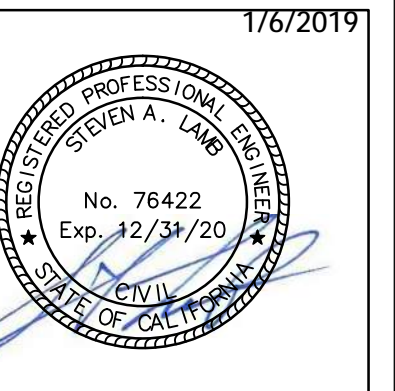
- NOTE:
1. DESIGN, MATERIAL AND CONSTRUCTION GUIDELINES TO FOLLOW ICPI GUIDE SPECIFICATIONS.
 2. PEDESTRIAN PAVER APPLICATION PAVER SURFACES SLOPE: MAX. 5%
 3. SOIL SUBGRADE MAX. SLOPE: 2%, MIN. SLOPE IS 0.5%
 4. CAST-IN-PLACE CONCRETE CURBS CAN BE WITHOUT PAVERS ON TOP. IN SUCH CASES, CURBS SHOULD BE LEVEL WITH CONCRETE PAVER FIELD.

1 PERMEABLE PAVEMENT - SAND SET SECTION
C4.0 NOT TO SCALE

NOTE: IT IS RECOMMENDED THAT INSTALLATION BE PERFORMED BY INDUSTRY-CERTIFIED PROFESSIONAL AND ACCORDING TO VENDOR SPECIFICATIONS.

LAMB DEVELOPMENT
2059 RENPOINT WAY
ROSEVILLE, CA 95661
TEL: 916-89-8012
S_LAMB2@HOTMAIL.COM

REVISIONS		
MARK	DATE	DESCRIPTION
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SITE DETAILS
JASON & JENNIFER PASQUETTI
1406 FOOTHILL BLVD.
CALISTOGA, CA 94515

PROJECT #: PASQUETTI

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DESIGNED BY:	DESIGNER
DRAWN BY:	DRAFTER
CHECKED BY:	ENGINEER

SHEET TITLE
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SHEET NUMBER
C4.0
6 OF 6