



City of Calistoga
Planning Commission
Agenda Item Summary

DATE	May 22, 2019
ITEM	NCOE Preschool Use Permit Application UP 2019-3 and Design Review Application DR 2019-1
APPLICANT	Napa County Office of Education
ASSESSOR'S PARCEL NO.	011-140-055
GENERAL PLAN DESIGNATION	Public/Quasi-Public
ZONING DISTRICT	P: Public/Quasi-Public
STAFF CONTACT	Zach Tusinger, Senior Planner
POTENTIAL CONFLICTS	None
RECOMMENDATION	Consider approving Use Permit Application UP 2019-3 and Design Review Application DR 2019-1.
SUGGESTED MOTION	"I move that the Planning Commission adopt a resolution approving Use Permit Application UP 2019-3 and Design Review Application DR 2019-1"

**CALISTOGA PLANNING COMMISSION
STAFF REPORT**

To: Calistoga Planning Commission
From: Zach Tusinger, Senior Planner
Meeting Date: May 22, 2019
Subject: NCOE Preschool – Use Permit UP 2018-3 and Design Review DR 2019-1

ITEM

1 Consideration of Use Permit (UP 2019-3) and Design Review (DR 2019-1) applications
2 for a two-building, 2,900-square foot preschool facility at 1407 North Oak Street (APN
3 011-140-055).

4 **BACKGROUND**

5 The vacant project site on the Napa County Fairgrounds property is part of a larger 15-
6 acre parcel. However, the specific project site (the lease area/area of improvements) is
7 approximately 0.58 acres. Uses in the vicinity of the project site include the Napa
8 County Fairgrounds, the Boys & Girls Club, Logvy Park, and the various residential
9 uses on the opposite side of North Oak Street.

10 The project site is zoned P: Public/Quasi-Public.

11 **PROJECT DESCRIPTION**

12 The Napa County Office of Education (NCOE) currently operates a preschool at 1432
13 Eddy Street. The Use Permit for that location was approved by the Planning
14 Commission in 2000 (UP-2000-5). That location was always envisioned as temporary,
15 as the Napa Valley Vine Trail is ultimately planned to run immediately through the
16 preschool site. As such, NCOE has signed a long-term lease at the Napa County
17 Fairgrounds and seeks to relocate and expand the preschool at the new location.

18 The project proposes two buildings and a small playground that would ultimately provide
19 classroom space and childcare for up to 48 students at any given time (up to 72 total
20 children total through staggered scheduling). Overall operation times for the preschool
21 would be 7:30 am to 5:00 pm for Classroom One, 246 days of the year. Classroom Two
22 would operate a staggered half-day schedule 177 days of the year. There would be
23 eight total staff members on-site at various times during the day.

24 The site would be accessed via an existing 24-foot wide two-way driveway off North
25 Oak Street. This same driveway currently services the Boys & Girls Club. Thirteen off-
26 street parking spaces would be provided as part of the project.

27 The two buildings are modular in their design, with a low-pitched roofline. Exterior
28 materials consist primarily of Duratemp which a manufactured wood siding. The
29 proposed color palette has been designed to match and complement the colors on the
30 adjoining Boys & Girls Club. Windows, landscaping, and large signage will break up the
31 façade. .

32 Landscaping is provided in a planter strip between the parking area and the access
33 drive. Several trees are proposed to be planted adjacent to the playground area. The
34 playground area between the two modular classroom buildings would feature play
35 equipment with a shade structure located on a durable resilient rubber surface. The
36 entire playground area would be fenced off by a six-foot chain-link fence.

37 The campus will have limited visibility from North Oak Street, as it will be located to the
38 rear of the Boys & Girls Club. The back side of the NCOE preschool campus will be
39 screened by vegetation and mature trees.

40 **CONSISTENCY ANALYSIS**

41 The project's consistency with the relevant City plans, policies and codes is evaluated
42 below.

43 Calistoga General Plan

44 The General Plan's Land Use Map designates the project site as Public/Quasi-Public.
45 The proposed use (a public school) is of the type contemplated by the General Plan in
46 this area. The project site is not located in any overlay, character, or gateway areas.

47 Zoning Code

48 The project site is located within the P: Public/Quasi-Public Zoning District. As
49 described below, the proposed project is consistent with the District's purpose and
50 development standards:

51 "The purpose of the public district is to provide for a wide variety of uses for
52 the general public benefit and is applied to public or private land areas
53 currently used or planned for public uses. Any allowed uses must be
54 attractively designed and must incorporate measures to ensure
55 compatibility with adjacent residential and commercial uses." (CMC
56 17.23.010).

Development Standard	P: Public	Project	Compliant
Minimum front yard	20 feet	N/A (50 feet from access drive)	Yes
Minimum interior side yard adjacent to building	None	40 feet and 7 feet	Yes
Minimum rear yard	None	46 feet	Yes
Maximum building height	30 feet	12 feet	Yes

57 Thirteen off-street parking spaces are provided as part of the project. Staggered start
58 times, the drop-off/pick-up area, and the walkability of the site lead staff to believe this is
59 adequate parking for the proposed facility. Two bicycle parking spaces are required per
60 the Zoning Code. While chain-linked fences are discouraged under the City's fencing
61 regulations, they may be approved by the Planning Commission. Staff recommends that

62 the chain link fencing be required to be black, similar to other fences in the immediate
63 area.

64 Staff encourages the applicant to incorporate some appropriate artwork (perhaps
65 murals or sculptures) into the primary building facades to enhance their utilitarian
66 appearance.

67 **GROWTH MANAGEMENT**

68 The preschool would connect to the public water and sewer systems. Based on the
69 Standardized Use Table for the Resource Management System, the total estimated
70 annual demand for this project is 0.68 acre feet/year of water and wastewater. The
71 applicant will be required to pay water and wastewater service connection fees.

72 **ENVIRONMENTAL REVIEW**

73 The proposed project has been reviewed in accordance with the California
74 Environmental Quality Act (CEQA) and the City has determined that it is categorically
75 exempt from further review per CEQA Guidelines Section 15303, New Construction or
76 Conversion of Small Structures.

77 **FINDINGS**

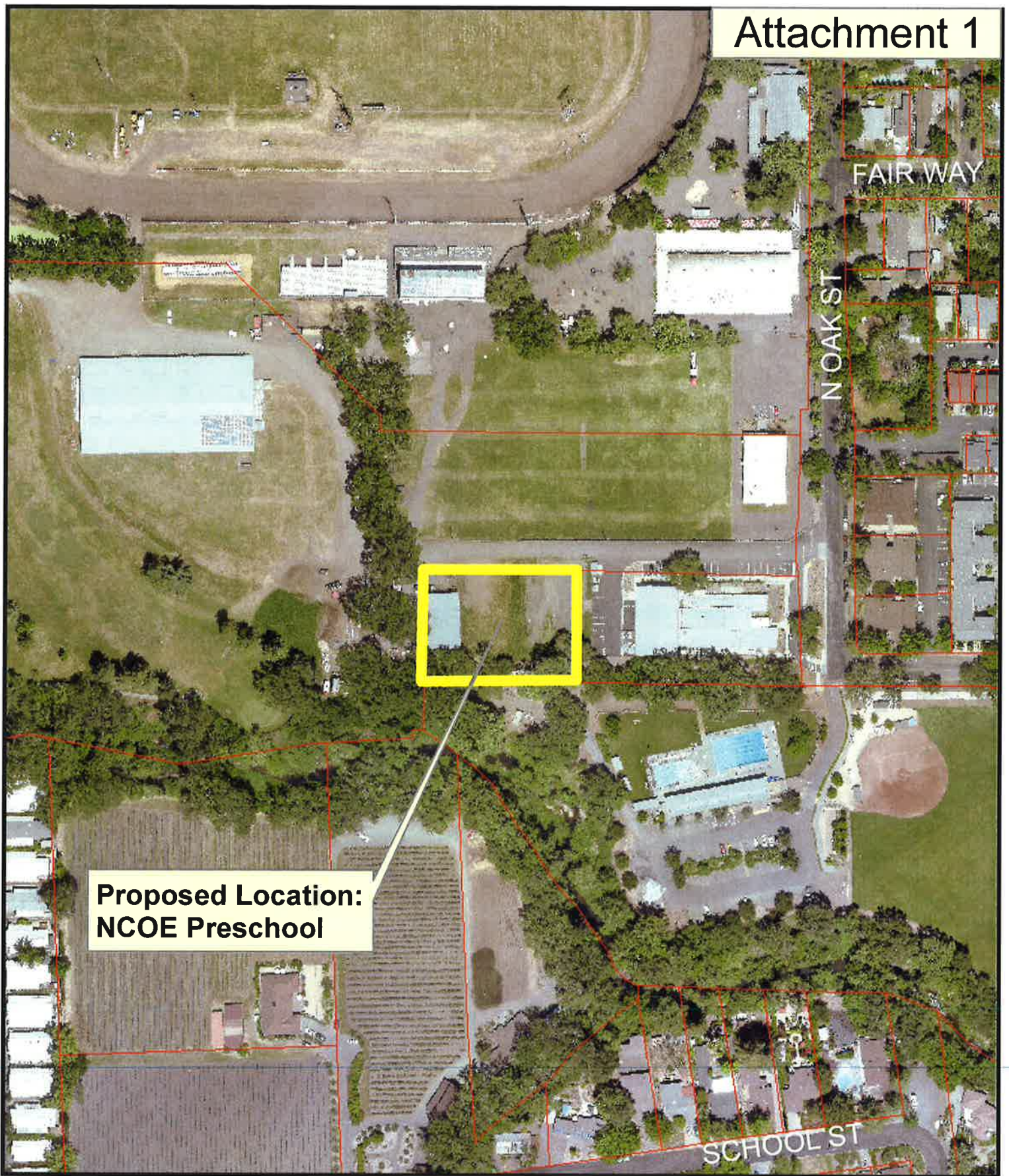
78 To reduce repetition, the bases for making the required findings to approve the project's
79 use permit and design review applications are contained in the attached draft
80 resolutions

81 **RECOMMENDATION**

82 Based on the information and analysis contained in this report, staff recommends that
83 the Planning Commission adopt a resolution approving use permit application UP 2019-
84 3 and design review application DR 2019-1.

ATTACHMENTS

1. Vicinity Map
2. Draft Resolution
3. Project Narrative
4. Project Plan Set



LOCATION MAP

NCOE Preschool
1407 N. Oak Street



**CITY OF CALISTOGA
PLANNING COMMISSION
RESOLUTION NO. 2019-XX**

**APPROVING USE PERMIT APPLICATION UP 2019-3 AND DESIGN REVIEW
APPLICATION DR 2019-1 FOR THE NAPA COUNTY OFFICE OF EDUCATION
PRESCHOOL AT 1407 N. OAK**

1 **WHEREAS**, Napa County Office of Education proposes to construct and operate a
2 preschool at 1407 North Oak Street (APN 011-140-055); and

3 **WHEREAS**, the Planning Commission considered use permit and design review
4 applications for the project at its meeting of May 22, 2019, and prior to taking action on
5 the applications, received written and oral staff reports, and public testimony; and

6 **WHEREAS**, the Napa County Office of Education project is exempt from the
7 California Environmental Quality Act (CEQA) under Section 15303 of the CEQA
8 Guidelines; and

9 **WHEREAS**, the Planning Commission hereby finds that the use permit application,
10 pursuant to Calistoga Municipal Code 17.40.030:

11 1. Is in accord with the General Plan and any applicable planned development.

12 Supporting Evidence: The proposed uses and designs are consistent with those
13 allowed by Public/Quasi-Public designation of the General Plan with a use permit.
14 This land use designation is inclusive of schools and other similar community
15 facilities.

16 2. Is in accord with all applicable provisions of the Zoning Code.

17 Supporting Evidence: The proposed use is allowed with a use permit in the
18 Public/Quasi-Public (P) Zoning District. The design complies with all relevant
19 development standards.

20 3. Will not substantially impair or interfere with the development, use or enjoyment of
21 other property in the vicinity or the area.

22 Supporting Evidence: Privacy impacts on neighboring properties will be minimal
23 because the property is bordered by the Napa County Fairgrounds on two sides,
24 the Boys & Girls Club on the east side, and the Napa River and Logvy Park on the
25 south side. Exterior lighting will be shielded to prevent glare. No excessive noise is
26 expected to be generated by this usage. The property does not immediately adjoin
27 any residential properties. The use will complement the neighboring Boys & Girls
28 Club and Logvy Park.

29 4. Is consistent with and enhances Calistoga's history of independently owned
30 businesses, thus contributing to the uniqueness of the town, which is necessary to
31 maintain a viable visitor industry and promote its economy.

32 Supporting Evidence: This finding is not applicable to this application.

33 5. Is resident-serving, in the case of a formula business.

34 Supporting Evidence: This finding is not applicable to this application.

35 **WHEREAS**, the Planning Commission hereby finds that the design review
36 application, pursuant to Calistoga Municipal Code 17.41.050:

37 1. Is in accord with the General Plan and any applicable planned development.

38 Supporting Evidence: The proposed uses and designs are consistent with those
39 allowed by the Public/Quasi-Public Land Use Designation with a use permit.

40 2. Is in accord with all applicable provisions of the Zoning Code.

41 Supporting Evidence: The proposed use is allowed with a use permit in the
42 Public/Quasi-Public Zoning District and the design complies with all relevant
43 development standards.

44 3. Is consistent with any adopted design review guidelines to the extent possible.

45 Supporting Evidence: The project design is consistent with the city's development
46 standards and the landscaping and design serve to create by visual interest, by
47 employing design, colors, and materials that are compatible with the neighborhood,
48 and screening mechanical equipment and trash enclosures from public view.

49 4. Will not impair or interfere with the development, use or enjoyment of other
50 property in the vicinity or the area.

51 Supporting Evidence: Privacy impacts on neighboring properties would be minimal
52 because the property is bordered by the Napa County Fairgrounds on two sides,
53 the Boys & Girls Club on the east side, and the Napa River and Logvy Park on the
54 south side. Exterior lighting will be shielded to prevent glare. No excessive noise is
55 expected to be generated by this usage. The property does not immediately adjoin
56 any residential properties. The use will complement the neighboring Boys & Girls
57 Club and Logvy Park.

58 **THEREFORE, BE IT RESOLVED** by the City of Calistoga Planning Commission
59 that based on the above findings, use permit application UP 2019-3 and design review
60 application DR 2019-1 are approved, subject to the following conditions:

61 1. The improvements and uses hereby permitted shall substantially conform to the
62 project description and supporting plans received as part of these applications except
63 as noted further in the permit conditions.

64 2. The preschool shall be limited to a total occupancy of 48 children and 8 adults at any
65 given time.

66 3. Minor modifications to the project design that do not generate environmental
67 impacts may be approved in writing by the Planning and Building Director.

68 4. This approval shall be null and void if not used within a year, unless an extension
69 and/or building permit has been issued for the project prior to the expiration date.

70 5. This approval does not abridge or supercede the regulatory powers or permit
71 requirements of any federal, state or local agency, special district or department

72 which may retain regulatory or advisory function as specified by statute or
73 ordinance. Permits shall be obtained as may be required from each authority.

74 **Planning Department**

75 6. Prior to the installation of any landscaping, a final landscape plan prepared in
76 accordance with the State Water Efficient Landscape Ordinance shall be submitted
77 for City approval. Landscaping and irrigation shall be installed prior to project
78 occupancy, maintained throughout the life of the project, and replaced as
79 necessary.

80 7. Any chain-link fencing shall be black.

81 8. Two bicycle parking spaces shall be provided.

82 9. Final exterior signage designs shall be subject to the approval of the Planning and
83 Building Department.

84 10. All new utilities within the site shall be placed underground.

85 11. All permanent exterior lighting shall be directed and/or shielded so as not to shine
86 or create glare on adjacent properties, subject to the review and approval of the
87 Planning and Building Department.

88 12. Water and wastewater allocations shall be obtained for the project, subject to the
89 ordinances in place at the time of Building Permit issuance.

90 **Public Works Department**

91 13. The driveway approach shall be surveyed to properly set the concrete apron's
92 grades, assure proper drainage, set grate elevations for the proposed drainage
93 boxes and for the contractor to order the right pre-cast drainage boxes

94 14. Prior to project occupancy, the project frontage's sidewalk, curb and gutter shall be
95 replaced where needed, subject to the review and approval of the Public Works
96 Department.

97 15. Water/Wastewater Allocations:

98 a. A water connection fee shall be paid prior to the issuance of a building permit.
99 The estimated annual water demand based on the submitted "Water Demand
100 Calculations" (Chaudhary & Associates 03/29/2019) is 295 units per year.
101 Additional allocation(s) of water shall be purchased as necessary in the future
102 to reflect higher water usage.

103 b. A wastewater connection fee shall be paid prior to the issuance of a building
104 permit. The estimated annual sanitary sewer generation based on the
105 submitted "Sanitary Sewer Generation Calculations" (Chaudhary & Associates
106 03/29/2019) is 295 units per year. Additional allocation(s) of wastewater shall
107 be purchased as necessary in the future to reflect a higher rate of discharge.

108

- 109 16. Water:
- 110 a. The applicant/owner is responsible for hiring and paying for their own fire
111 consultant, and paying for any lateral replacement that is required to meet fire
112 pressure and flows required by the sprinkler system. The fire sprinkler
113 consultant shall compute all hydraulics throughout the on-site fire sprinkler
114 system, including elevation losses in the lateral line from the main in the street
115 through the lateral pipe, meter and backflow devices. If fire sprinklers are
116 required, request/pay for fire hydrant flow information to run the required
117 analysis with. It is good practice for the fire consultant to run on-site
118 flow/pressure tests to determine existing hydraulics on the property and
119 investigate the lateral size by potholing and measuring to confirm existing
120 conditions prior to running any calculations.
- 121 b. The hot tab connection shall be done by the contractor.
- 122 c. Move the lateral, meter boxes and backflow preventers to north side of the
123 driveway to avoid demolition of new landscape area.
- 124 d. If Applicant chooses to use the reclaimed water for irrigation, an agreement
125 with the City is required.
- 126 17. The developer shall design and construct all improvements and facilities shown on
127 the approved plans, and shall comply with the Calistoga Municipal Code and the
128 "Standard Specifications" of the Public Works Department which utilizes the City of
129 Santa Rosa Standards. Approval of plans depicting improvements that do not
130 conform to the CMC or City standards does not constitute approval of exception to
131 the CMC or City standards unless explicitly approved by the City Public Works
132 Department.
- 133 18. The developer shall submit a soils investigation/geotechnical report for the project
134 site that includes pavement and foundation recommendations.
- 135 19. No grading or other construction shall be performed until the improvement plans
136 have been approved and signed by the City Engineer. Encroachment permits and
137 building permits will not be issued prior to the approval of the improvement plans,
138 unless otherwise approved by the City Engineer.
- 139 20. A City encroachment permit is required for any work within the City's right-of-way.

PASSED AND ADOPTED on May 22, 2019 by the following vote of the Calistoga
Planning Commission:

AYES:
NOES:
ABSENT:
ABSTAIN:

Paul Coates, Chair

ATTEST: _____
Lynn Goldberg, Secretary

Calistoga Preschool Project

The Napa County Office of Education has been asked by the City of Calistoga and the Vine Trail to move the existing childcare facility located at 1432 Eddy St. for future use. We have secured a new location at 1407 North Oak St. and signed a 20 year land and easement lease agreement for this new location. NCOE currently operates one preschool and has been awarded more funding to add another preschool. NCOE will provide full day year around childcare for low income families. Calistoga is listed as the highest priority for this type of childcare in the Napa County Childcare Local Planning document. In adding a second building at the 1407 North Oak St. location, 24 families who either live or work in Calistoga will have opportunities to apply for a slot in this state subsidized program at the new 1407 North Oak St. location. This was approved by the County of Napa and we submitted CEQA documents with a geotechnical report.

Operations times will be: Monday - Friday 7:30am - 5:00pm Classroom 1 operates 246 days per year and Classroom 2 operates 177 days of the year.

Classroom 1 - 24 students 7:30am - 5:00pm

Classroom 2 - Session 1 9:00am - 12:00pm (24 students)

Session 2 1:00pm - 4:00pm (24 Students)

Staffing 8 employees 7:30 - 5:00pm

Buildings 2 - 36ft X 40ft portable classrooms = 2880 total sq ft.

Playground 3100 sqft

Parking area with drop-off/pickup area.

ABBREVIATIONS

Table of abbreviations including terms like AND ANGLE, CENTERLINE, DIAMETER, FEET, INCHES, etc., with their corresponding symbols.

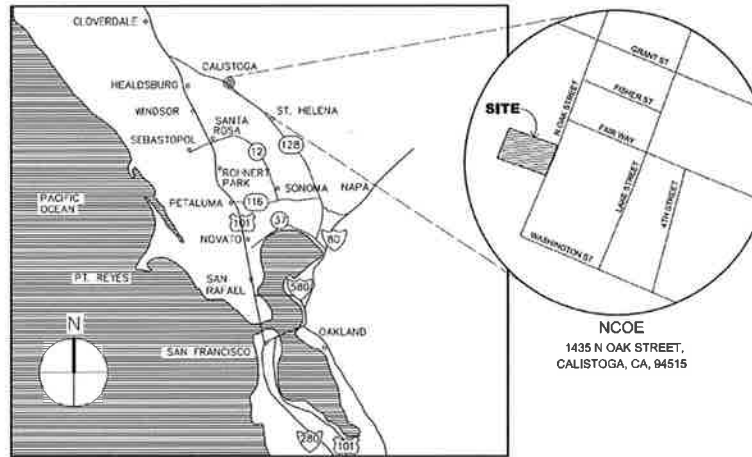
NAPA COUNTY OFFICE OF EDUCATION

Attachment 4

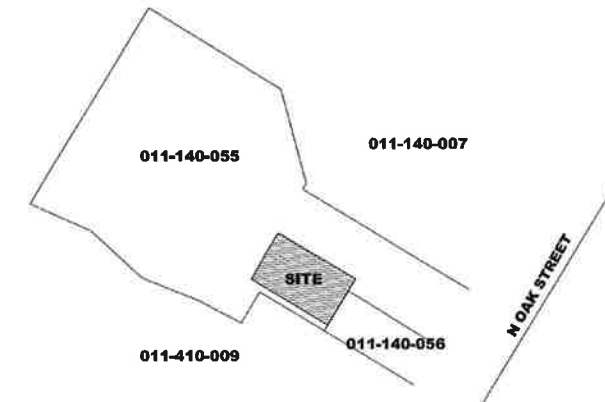
NCOE CHILDCARE CENTER PORTABLES

1407 NORTH OAK STREET

LOCATION MAP



PARCEL MAP



GENERAL NOTES

- 1. ALL WORK IS SHOWN, DESCRIBED OR SPECIFIED IN THE DRAWINGS INDEXED ON THIS PAGE OR IN THE SPECIFICATIONS...

CONSULTANTS

ARCHITECT: Quattrocci Kwok Architects
ELECTRICAL ENGINEER: O'Mahony & Myer
CIVIL ENGINEER: Chaudhary Associates, Inc.

SHEET INDEX

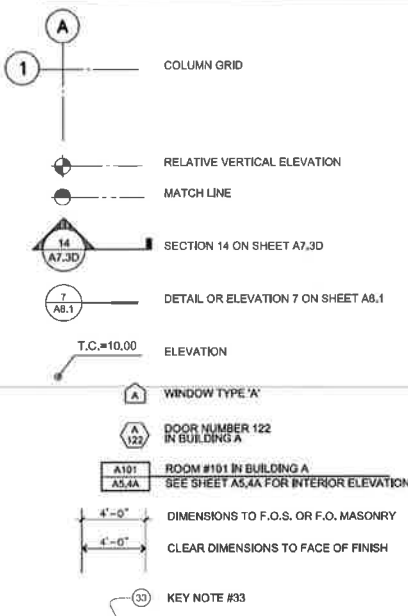
Table listing sheet numbers and titles, including COVER SHEET, SITE PLAN, FLOOR PLANS, etc.

PROJECT INFORMATION

PROJECT SCOPE: INSTALLATION OF (2) MODULAR CHILDCARE BUILDINGS & (1) SHADE STRUCTURE WITH RELATED CIVIL, LANDSCAPE, ELECTRICAL, & FIRE ALARM WORK

LEGEND

ALL NOTES AND SYMBOLS ARE INTENDED TO APPLY TO ALL OTHER LOCATIONS OF SIMILAR GRAPHIC REPRESENTATION...



QUATTROCCHI KWOK ARCHITECTS
Main Office: 636 Fifth Street, Santa Rosa, CA 95404



NCOE CHILDCARE CENTER PORTABLES

1407 N. OAK STREET, CALISTOGA, CA 94515

NAPA COUNTY OFFICE OF EDUCATION
2121 IMOLA AVE. NAPA, CA 94559

REVISIONS table with columns for description, date, and initials.

ARCH PROJECT NO: 1705.00
DRAWN BY: MJD
DRAWING SCALE: AS NOTED

CD
APRIL 17, 2019

COVER SHEET

SHEET NUMBER
A-0.1

File: 1705.00 - NCOE Childcare Center - 12/22/2018 10:45 AM - 12/22/2018 10:45 AM - Rev: 0001



QUATTROCCHI KWOK
ARCHITECTS
Main Office:
636 Fifth Street, Santa Rosa, CA
95404
Pleasanton Office:
600 Main Street, Suite E,
Pleasanton, CA 94566
(707) 576-0829



SIGNED:

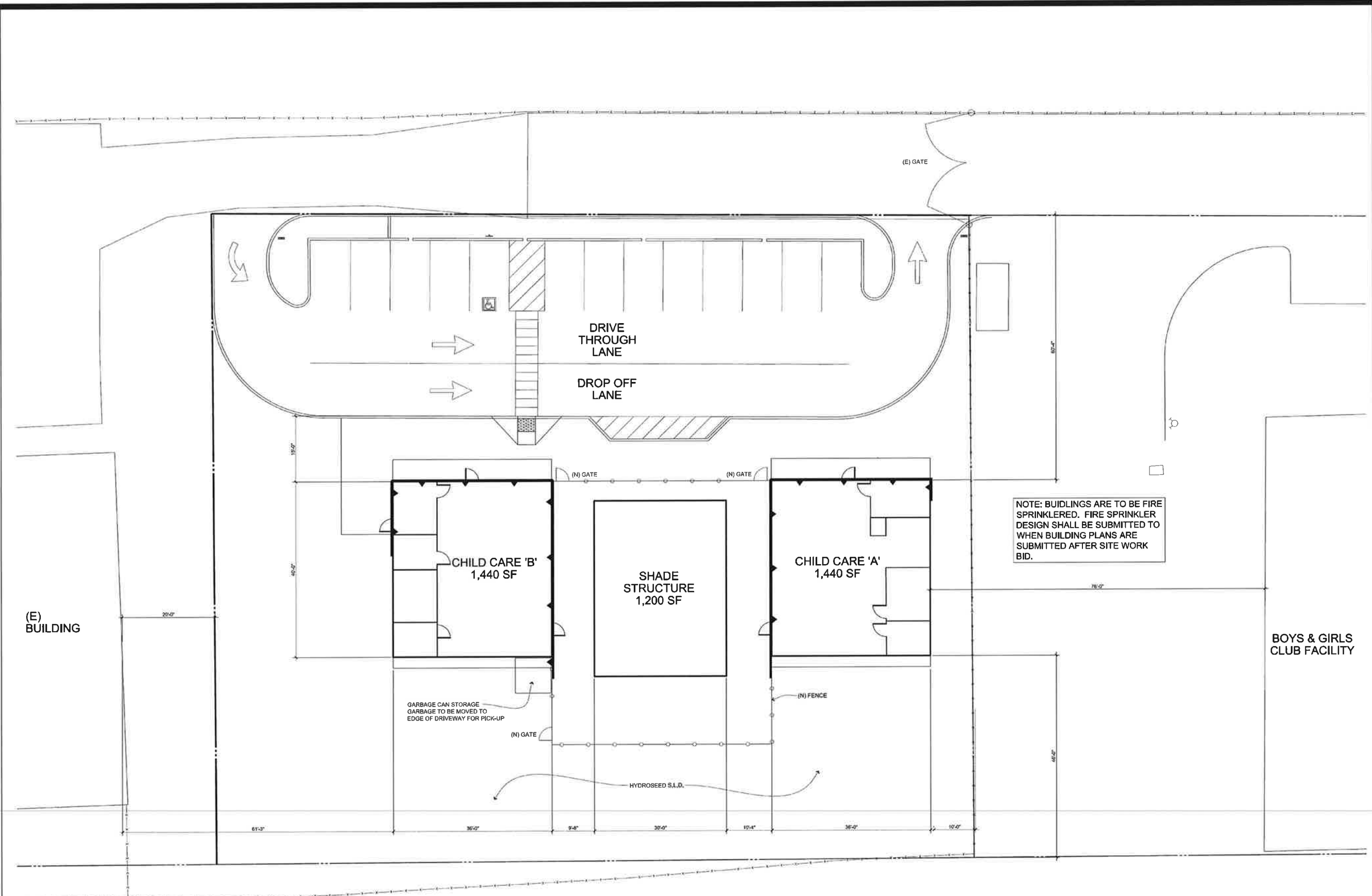
**NCOE
CHILDCARE
CENTER
PORTABLES**

1407 N. OAK STREET,
CALISTOGA, CA 94515

NAPA COUNTY
OFFICE OF
EDUCATION
2121 IMOLA AVE.
NAPA, CA 94559

BOYS & GIRLS
CLUB FACILITY

NOTE: BUIDLINGS ARE TO BE FIRE
SPRINKLERED. FIRE SPRINKLER
DESIGN SHALL BE SUBMITTED TO
WHEN BUILDING PLANS ARE
SUBMITTED AFTER SITE WORK
BID.



ENLARGED SITE PLAN
SCALE: 1" = 10'

1



REVISIONS	

ARCH PROJECT NO: 1705.00
DRAWN BY: MJD
DRAWING SCALE: AS NOTED
PTN:

CD
APRIL 17, 2019

SHEET TITLE

**ENLARGED
SITE PLAN**

SHEET NUMBER

A-1.2

P:\1705.00-1705.00-01-NCOE Childcare Center-1705.00-01.dwg, 4/17/2019 1:54:11 AM, Mark Quattrocchi



QUATTROCCHI KWOK
ARCHITECTS
Main Office:
636 Fifth Street, Santa Rosa, CA
95404
Pleasanton Office:
800 Main Street, Suite E,
Pleasanton, CA 94566
(707) 576-0829



SEALED:

**NCOE
CHILDCARE
CENTER
PORTABLES**

1407 N. OAK STREET,
CALISTOGA, CA 94515

NAPA COUNTY
OFFICE OF
EDUCATION
2121 IMOLA AVE.
NAPA, CA 94559

REVISIONS	

ARCH PROJECT NO: 1705.00
DRAWN BY: MJD
DRAWING SCALE: AS NOTED
PTR:

CD

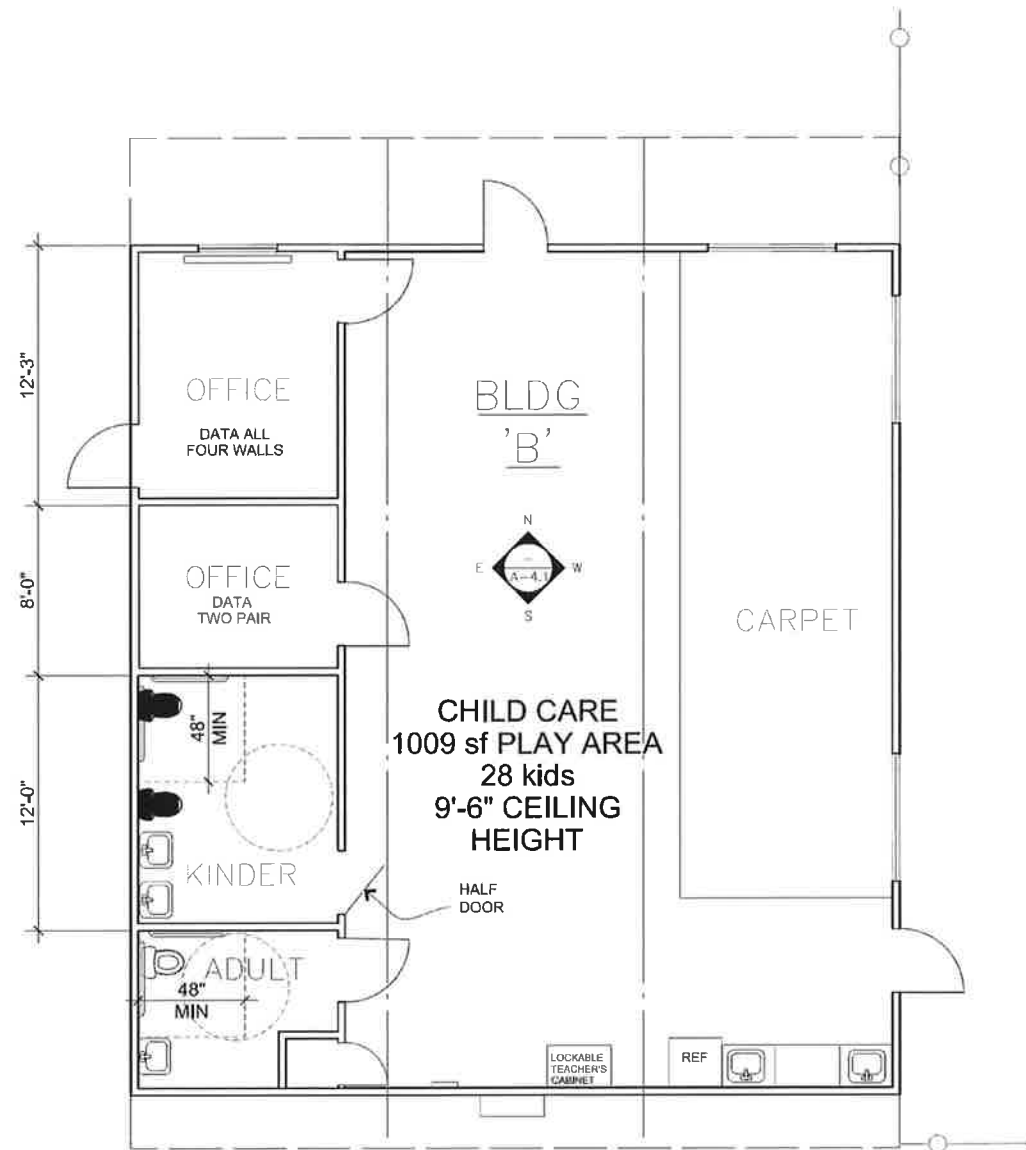
APRIL 17, 2019

SHEET TITLE

**FLOOR
PLANS**

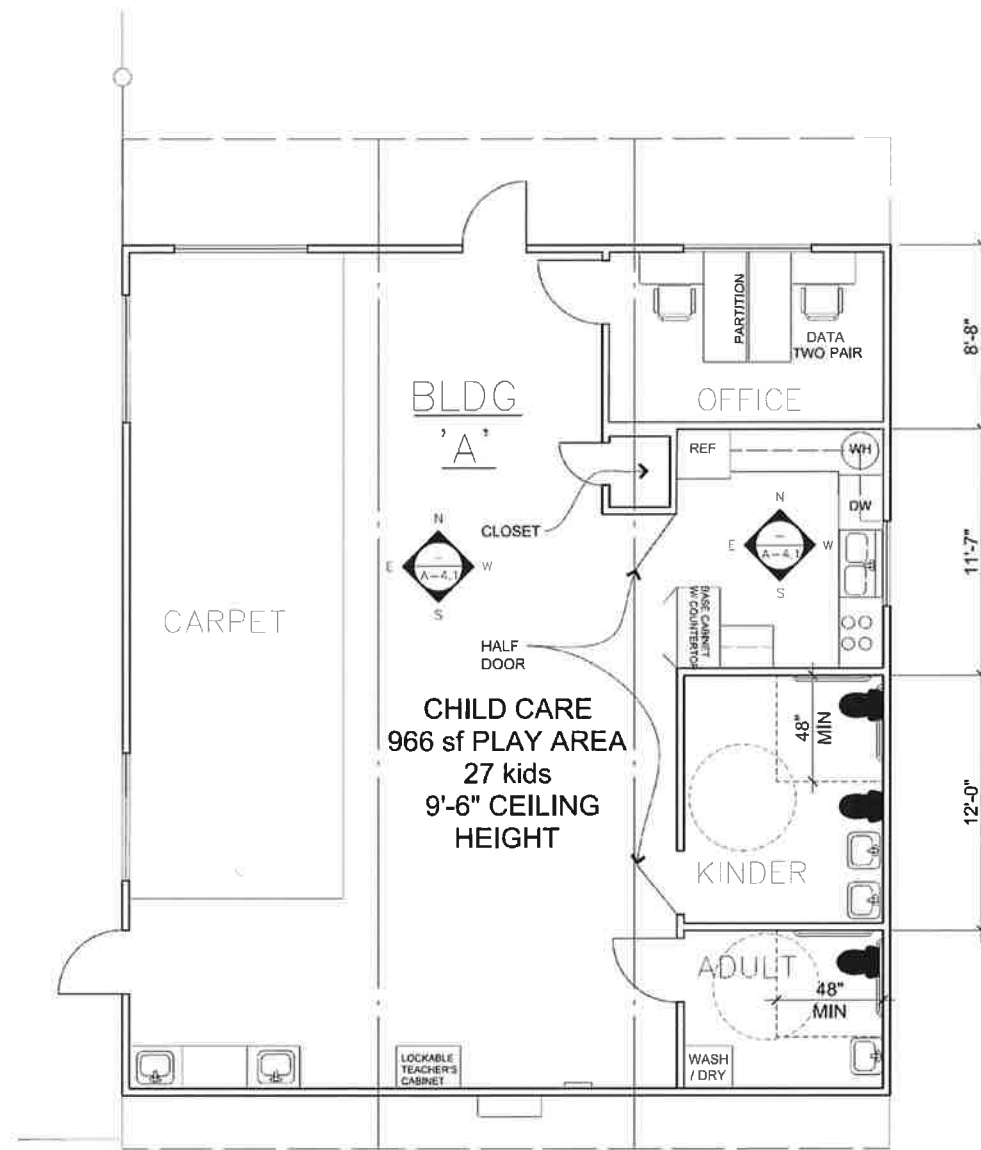
SHEET NUMBER

A-2.1



FLOOR PLAN BUILDING 'B'

2



FLOOR PLAN BUILDING 'A'

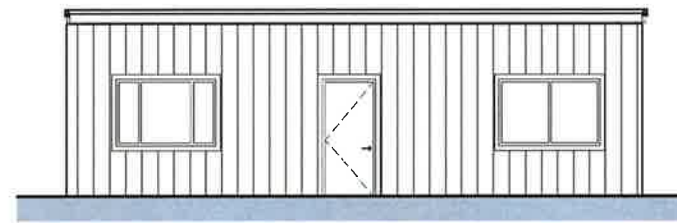
1



EAST ELEVATION BUILDING 'A'

SCALE: 3/16" = 1'-0"

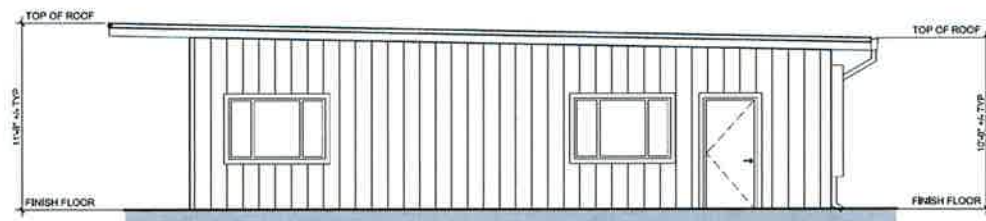
2



NORTH ELEVATION BUILDING 'A'

SCALE: 3/16" = 1'-0"

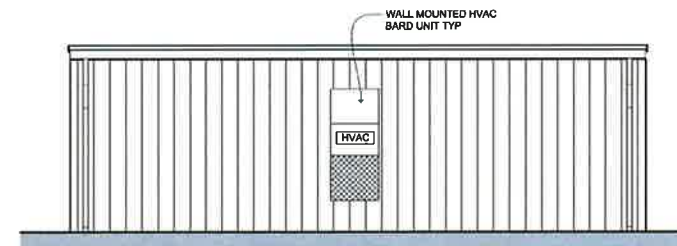
1



WEST ELEVATION BUILDING 'A'

SCALE: 3/16" = 1'-0"

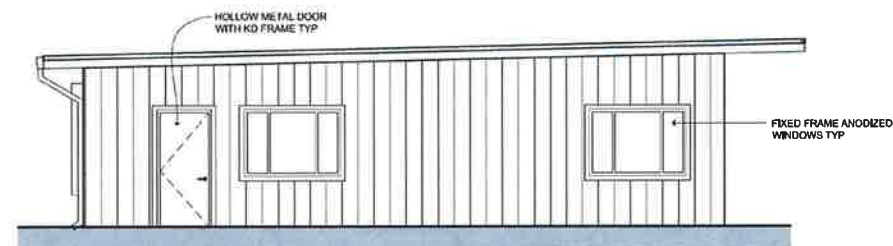
4



SOUTH ELEVATION BUILDING 'A'

SCALE: 3/16" = 1'-0"

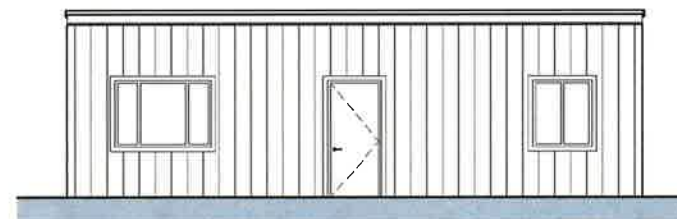
3



EAST ELEVATION BUILDING 'B'

SCALE: 3/16" = 1'-0"

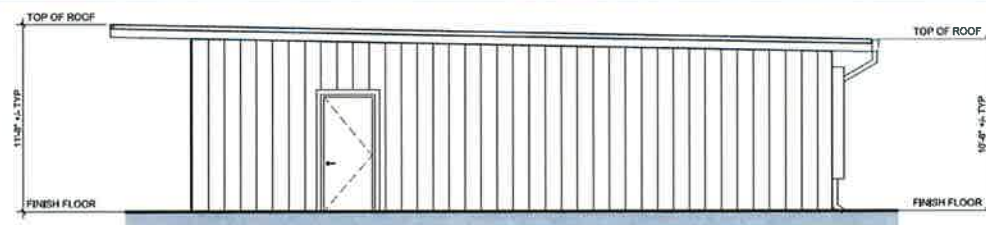
2



NORTH ELEVATION BUILDING 'B'

SCALE: 3/16" = 1'-0"

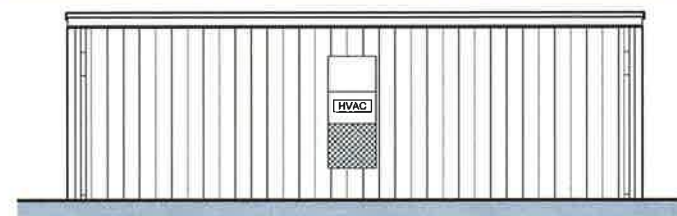
1



WEST ELEVATION BUILDING 'B'

SCALE: 3/16" = 1'-0"

4



SOUTH ELEVATION BUILDING 'B'

SCALE: 3/16" = 1'-0"

3



QUATTROCCHI KWOK ARCHITECTS
 Main Office: 636 Fifth Street, Santa Rosa, CA 95404
 Pleasanton Office: 600 Main Street, Suite E, Pleasanton, CA 94566
 (707) 576-0829



NCOE CHILDCARE CENTER PORTABLES

1407 N. OAK STREET, CALISTOGA, CA 94515

NAPA COUNTY OFFICE OF EDUCATION
 2121 IMOLA AVE. NAPA, CA 94559

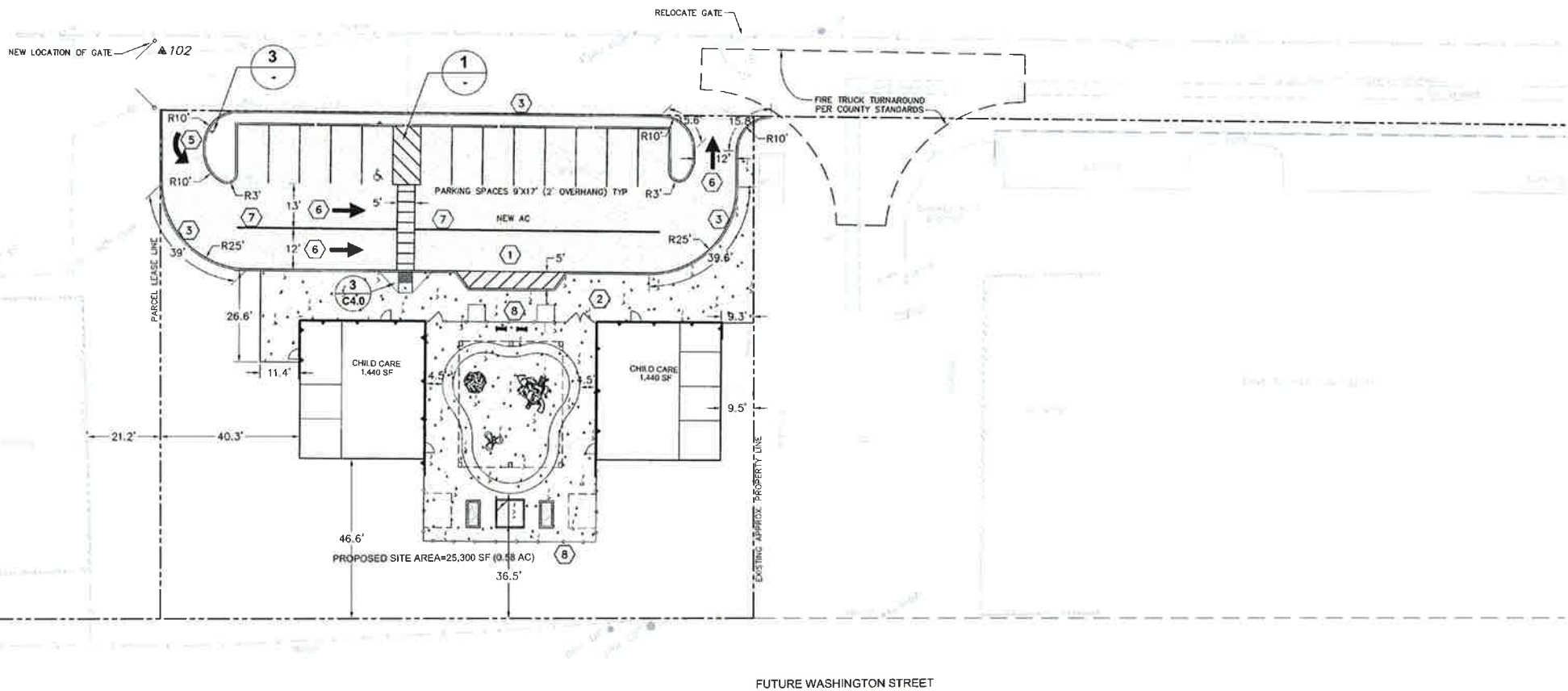
REVISIONS	

ARCH PROJECT NO: 1705.00
 DRAWN BY: MJD
 DRAWING SCALE: AS NOTED
 PTN:

CD
 APRIL 17, 2019

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A-3.1



- CONSTRUCTION NOTES**
- 1 INSTALL 3" AC ON 10" AB COMPACTED TO 95% RELATIVE COMPACTION.
 - 2 INSTALL 4" PCC ON 2" AB. SEE LANDSCAPE DRAWING FOR SCORING PATTERN AND DETAILS.
 - 3 RED CURB
 - 4 CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN FOR CITY'S REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - 5 INSTALL A24B TYPE III (L) ARROW
 - 6 INSTALL CALTRANS STD. DWG. 24A TYPE I 10' ARROW (3/4 SIZE) (TYP)
 - 7 PAINT 4" YELLOW STRIPE (2 COATS)
 - 8 SEE LANDSCAPE PLANS FOR FENCING DETAILS.

- NOTES:**
- 1 SIGNAGE SHALL BE PER THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OF THE FEDERAL HIGHWAY ADMINISTRATION, UNLESS OTHERWISE NOTED.
 - 2 UNDER ALL PAVEMENT AREAS:
 - COMPACT TOP 6" OF SUBGRADE TO 95% RELATIVE COMPACTION.
 - COMPACT AB TO 95% RELATIVE COMPACTION.



QUATTROCCHI KWOK ARCHITECTS
 Main Office: 636 Fifth Street, Santa Rosa, CA 95404
 Pleasanton Office: 600 Main Street, Suite E, Pleasanton, CA 94566
 (707) 576-0829



CHAUDHARY & ASSOCIATES, INC.
 Engineers Surveyors Planners
 211 EAST BAY BLVD. SUITE 204
 NAPA, CALIFORNIA 94952
 TEL: (707) 257-0700 FAX: (707) 257-0701 WWW.CHAUDHARY.COM



**NCOE
 CHILDCARE
 CENTER
 PORTABLES**

1407 N. OAK STREET,
 CALISTOGA, CA 94515

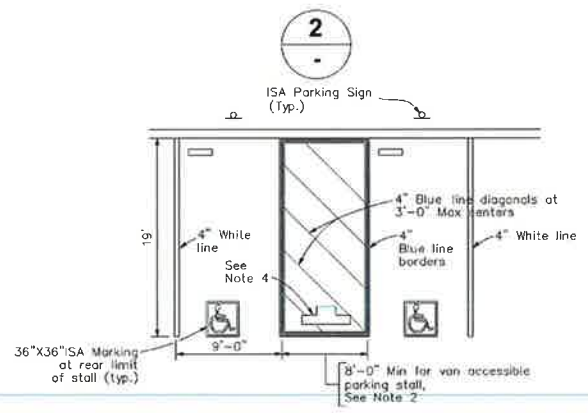
NAPA COUNTY
 OFFICE OF
 EDUCATION
 2121 IMOLA AVE.
 NAPA, CA 94559

REVISIONS	

ARCH PROJECT NO:	1705.00
DRAWN BY:	FS
DRAWING SCALE:	1" = 20'
PTN:	
	CD
	March 29, 2019
SHEET TITLE	

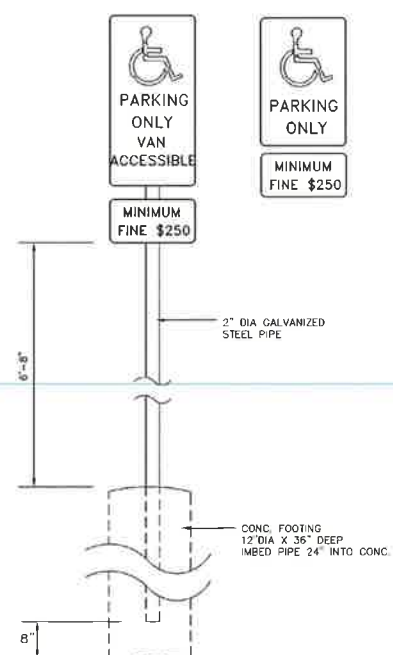
**SIGNING,
 STRIPING,
 DIMENSION &
 PAVING PLAN**

SHEET NUMBER
C-5.0



1. In each parking stall, a curb or bumper shall be provided and located to prevent encroachment of vehicles over the required width of walkways. Parking stalls shall be so located that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own.
2. Where a van accessible parking space is provided, the loading and unloading access aisle shall be 8'-0" wide minimum, and shall be on the passenger side of the vehicle as the vehicle is going forward into the parking space.
3. Accessible Parking Only Sign shall be Sign R99C (CA) or Sign R99 (CA) with Plaque R99B (CA).
4. The words "NO PARKING", shall be painted in white letters no less than 1'-0" high and located so that it is visible to traffic enforcement officials. See Revised Standard Plan RSP A90B for details of the "NO PARKING" pavement marking.

ACCESSIBLE PARKING 1
 NO SCALE



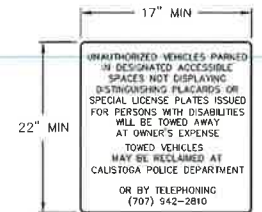
ACCESSIBLE SIGNAGE 2
 NO SCALE



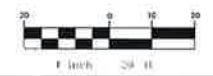
R99 (CA)
 COLORS: BORDER & LEGEND - WHITE (RETROREFLECTIVE)
 BACKGROUND - BLUE (RETROREFLECTIVE)



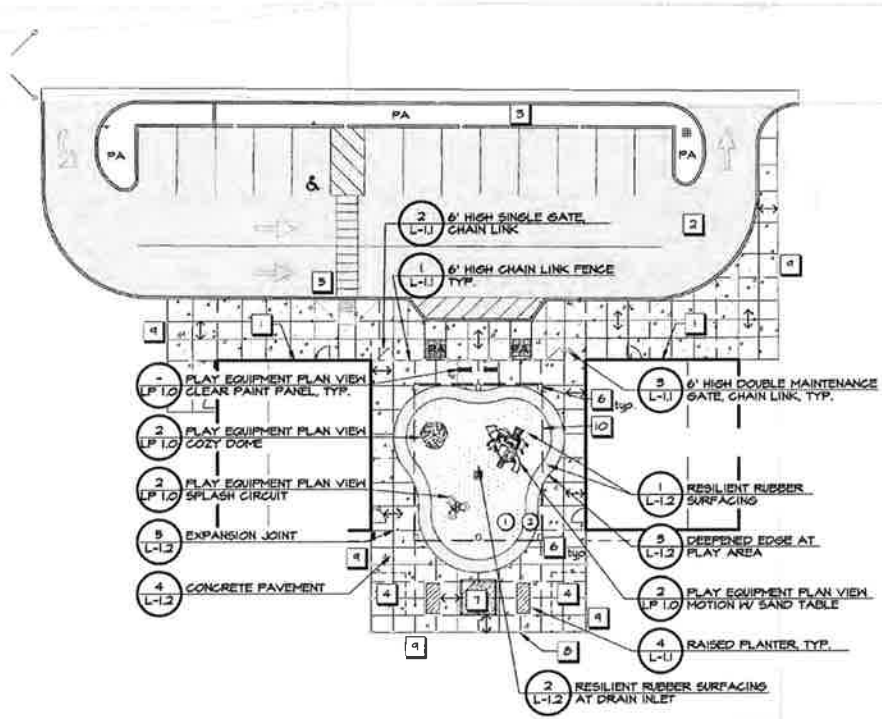
R99B (CA)
 COLORS: BORDER & LEGEND - WHITE (RETROREFLECTIVE)
 BACKGROUND - BLUE (RETROREFLECTIVE)



TEXT SHALL BE 1" MIN HIGH
CALIFORNIA DISABLED PARKING 3
TOW-AWAY SIGN
 NO SCALE



o:\2016\16-05-0229B NCOE Fairgrounds\DWG\01_S516\229B.dwg 03/29/19 9:48:35am 1 Station-251



MATERIALS AND DETAIL REFERENCE PLAN

CONCRETE NOTES

1. Subgrade preparation shall be done in accordance with the recommendations in the Geotechnical Report.
2. Tooled control joints shall run continuously and extend through integral curbs and brickered edges. Tooled control joint layout shall be as shown on the Layout Plan, and coincide with the corners of objects, structures and the beginning and ends of curves. Joints should have a minimum depth of 25% of the slab thickness, unless otherwise noted on plans.
3. Concrete shall receive expansion joints between different concrete pours and adjacent to existing concrete pavement. Expansion joints shall be laid out as shown on the Layout Plan - Score and Expansion Joints on this sheet.
4. Contractor shall place 3/8" asphalt impregnated fiber board where new concrete meets existing concrete, building or vertical curbs, new curbs and gutter, concrete bands, etc. See Civil Drawings for concrete edge and flashing against buildings.
5. The base rock layer, prior to placement of concrete, shall be sprinkled with clean water several times to restore any moisture that may have been lost after completion of compaction.
6. Surface texture of concrete pavement shall be slip resistant as described in Material Legend on this sheet. Concrete pavement with slopes less than 6% shall receive a medium broom finish and slopes greater than 6% shall receive a heavy broom finish. Finish shall be in the direction shown on this sheet. See Plan for direction.
7. Cure concrete with curing compound or keep continuously moist for a minimum of seven (7) days. Curing compound shall be K. R. Meadows 100-Clear - Resin-Based, Water-Based Concrete curing compound and sealer or Engineer approved Equal.
8. Contractor shall prepare a 4"x4" sample and mock ups of all concrete types and applications, in the field, for review and approval by the County, prior to construction. Mockups shall contain 1 expansion joint, 1 tooled control joint, color and finish.
9. Concrete mix shall be as follows:
 Maximum aggregate size _____ 3/4"
 Minimum sacks of Portland cement per cubic yard _____ 6
 Slump _____ 4" max.
 Minimum 28 day strength a hotmark _____ 5,000 psi
 Minimum 28 day strength @ other concrete _____ 5,000 psi
 Maximum water to cement ratio _____ 0.5
10. See Civil Drawings for concrete curbs, ramps, parking lot, drop off and bioretention areas.

MATERIALS LEGEND

Symbol	Description
	Concrete Pavement. Concrete shall be integrally colored with Davis Dune. 0.01 lbs of #6050 per 14 lbs (1 cu. ft.) of concrete. Concrete shall have a slip resistant medium broom finish in the direction shown on this sheet. See Concrete Notes on this sheet.
	Expansion Joint
	5" x 1" Tooled Score Joint
	Direction of Broom Finish
	Planting Area. See Planting Plan for exact limits of planting.
	Resilient rubber surfacing Two (2) Colors. Color 1 shall be 60% Blue and 40% Sky Blue. Color 2 shall be 60% Green and 40% Light Green. Resilient rubber surfacing shall be SpectraPur Pours-in-Place, available through SpectraTurf, 800-875-5788. Contact Adam Vance, adam.vance@spectraturf.com.
	6' High Chain Link Fence
	6' High Gate, Single Chain Link
	6' High Double Maintenance Gate, Chain Link
	Shade Structure with Post Pads. DSA PC # 04-116473 30"x40" Shade Structure by IGCN Shelter Systems. Post Pads: Custom Canopy Int'l, Inc. Post Pads 54" standard height, HDPE shade cloth fabric, heavy-duty double-pull plastic, 2" thick foam, with rectangular covers sized for Shade Structure Posts.
	Both available through NSF3, 350.244.6116. Contact Nate Parker, nate@nsf3.com.
	Space for future Sand Box
	Fence Post
	Limit of Concrete Pavement
	Shade Structure. See Materials Legend on this sheet.
	Roof color shall be Roman Blue. Post color shall be Ash Gray. Post Pad color shall match Posts.

SHEET NOTES

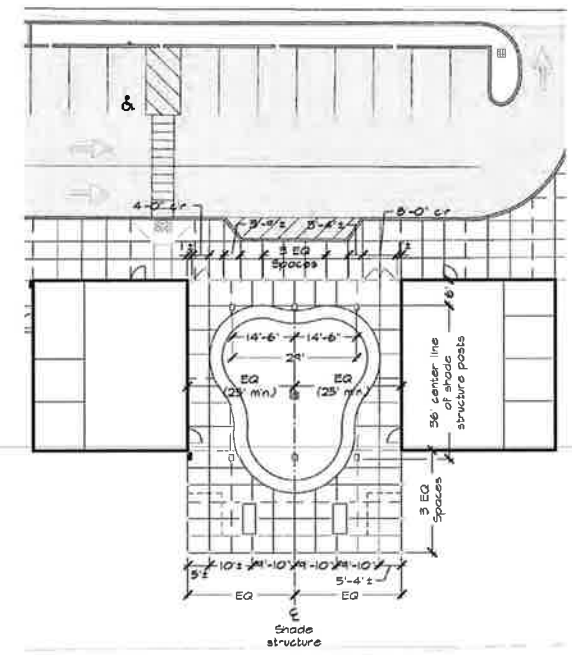
- | | |
|--|---|
| 1 Building. See Architect's Drawings. | 6 Shade Structure Post |
| 2 Asphalt Parking Lot. See Civil Drawings. | 7 Space for future Sand Box |
| 3 Bioretention. See Civil Drawings. | 8 Fence Post |
| 4 Shed. Owner furnished and installed. | 9 Limit of Concrete Pavement |
| 5 Accessible Ramp. See Civil Drawings. | 10 Shade Structure. See Materials Legend on this sheet. |

LAYOUT LEGEND

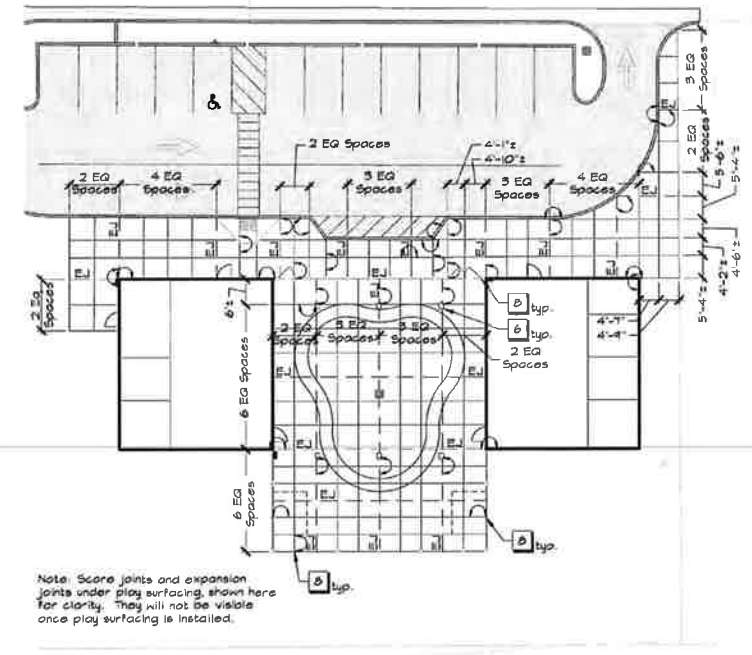
	Radial Dimension	EQ	Equal
	Arc Dimension	C	Centerline
	Linear Dimension	MA	Midpoint of Arc
	Align	PT	Point of Tangency
	Guideline to show alignment	Clr	Clear Opening
		90	90 Degree Angle

LAYOUT NOTES

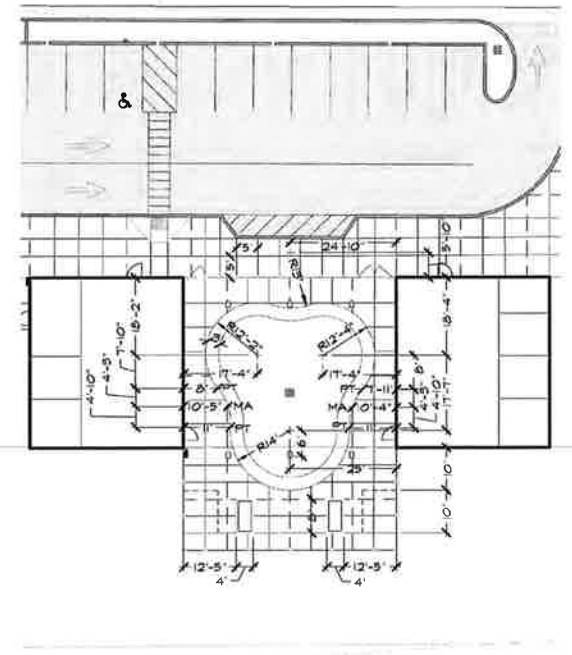
1. Contractor shall notify all public or private utility companies two (2) working days prior to commencement of work on this project to verify the locations of existing utility lines. Call Underground Service Alert (USA) toll free at 1-800-221-2600 or 811, 7:00am to 5:00pm, Monday through Friday.
2. All coordinates and dimensions shown are in a horizontal plane.
3. Written dimensions always take precedence over scaled dimensions. If there is a conflict, notify the County and Landscape Architect and obtain a clarification. No deviation or substitution shall be allowed without obtaining written approval from the District and Landscape Architect.
4. See Civil Drawings for additional layout information.
5. This Plan does not represent a Property Line Survey. Property lines shown hereon may not represent the true position of the line.
6. The Contractor shall coordinate all construction elements including utility locations and required sleeving prior to installation of any underground utilities.
7. The Contractor shall verify critical dimensions, reference and control point locations and construction conditions prior to construction.
8. All dimensions shall be verified in the field, chalked, painted, and/or string lined. Any minor adjustments required to achieve overall design layout shall be reviewed and approved by the County and Landscape Architect prior to construction.
9. All materials shall be furnished and installed by the Contractor per Manufacturer's specifications, unless otherwise noted in these Plans or Specifications.
10. Existing features and topographic information have been taken from Survey performed by Crandall and Associates, Inc., dated April 2011, provided by Quattrocchi Kwok Architects. GDM landscape architects, inc. assumes no liability, real or alleged, regarding the accuracy of the existing features or topographic information shown.
11. All control joints and expansion joints shall coincide with the corners of objects, structures, centerlines of fence posts and shall be evenly spaced whenever possible.
12. Where fence abuts building corner, contractor shall install post and/or fence less than 4" from building.



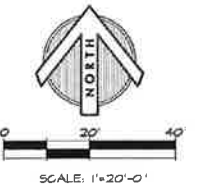
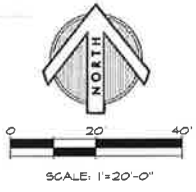
LAYOUT PLAN - FENCE, GATE, AND SHADE STRUCTURE POSTS



LAYOUT PLAN - SCORE AND EXPANSION JOINTS



LAYOUT PLAN - SITE FEATURES



QUATTROCCHI KWOK ARCHITECTS
 636 FIFTH ST.
 SANTA ROSA, CA 95404
 (707) 576-0829
 (707) 576-0295 FAX



NCOE CHILD CARE PORTABLES

1407 N. Oak Street,
 Calistoga, CA 94515

NAPA COUNTY OFFICER OF EDUCATION

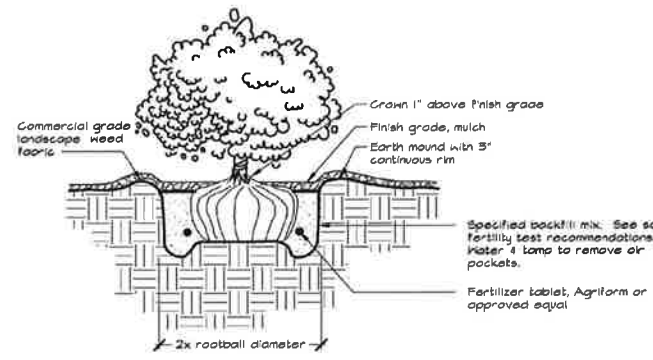
ARCH PROJECT NO:	1705.00
DRAWN BY:	
DRAWING SCALE:	
PIN:	

SHEET TITLE

MATERIALS AND LAYOUT PLANS

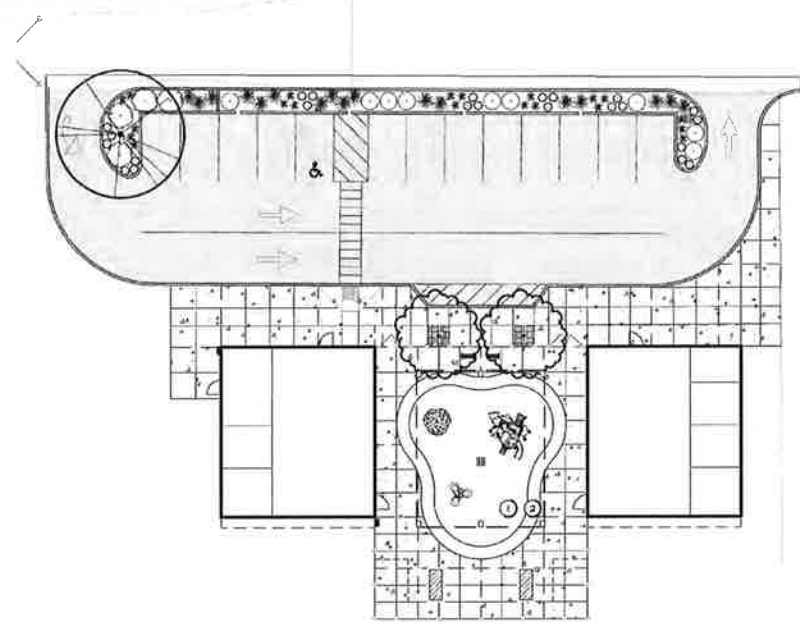
SHEET NUMBER

L-1.0



- NOTES:**
1. Root ball shall rest on undisturbed soil.
 2. Plant tablets shall be equally spaced around root ball. The number of tablets shall be 1 for 4" dot or liner, 2 for 1 gallon, 3 for 2 and 5 gallon, and 4 for 15 gallon, or as specified in the soils fertility test recommendations.
 3. Contractor shall water planting pit thoroughly following planting.
 4. See Planting Legend on this sheet for mulch specification.

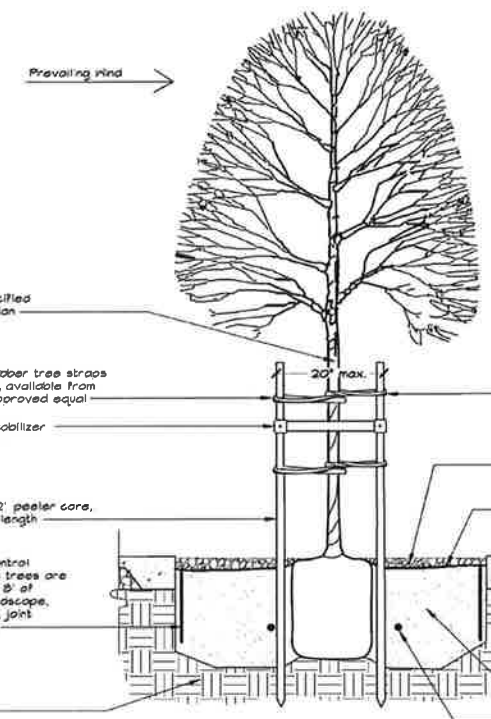
1 SHRUB PLANTING
NOT TO SCALE



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
Trees					
	<i>Laurus nobilis</i> 'Saratoga'	Saratoga Bay Laurel	24" box	2	L
	<i>Quercus lobata</i>	Valley Oak	24" box	1	L
Shrubs/Groundcover					
	<i>Arctostaphylos</i> 'Pacific Mist'	Pacific Mist Manzanita	5 gallon	4	L
	<i>Festuca California</i>	California Fescue	5 gallon	25	L
	<i>Juncus patens</i> 'Elk Blue'	Elk Blue California Rush	5 gallon	20	L
	<i>Rhamnus californica</i> 'Eve Case'	Eve Case Coffeeberry	5 gallon	4	L
	<i>Muhlenbergia rigens</i>	Deergross	5 gallon	17	L
	Landscape Mulch: Weed fabric and 3" depth of mulch (shown graphically for areas not planted) shall be installed in all planting areas. See Planting Notes for mulch type.				
	Planter Soil: Planter soil shall be Raised Bed Mix, available at Crown Hill Stone Supply 1865 Tonan Street, Napa, CA 94559, 707-255-1225.				

PLANTING PLAN

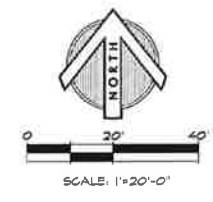


- NOTES:**
1. Root ball shall rest on undisturbed soil.
 2. Plant tablets shall be equally spaced around root ball. The number of tablets shall be 4 for 15 gallon and 6 for 24" box, or as specified in the soils fertility test recommendations.
 3. Contractor shall water planting pit thoroughly following planting.
 4. See Planting Notes on this sheet for mulch specification.
 5. Trees shall be staked parallel with the direction of the prevailing wind.
 6. Contractor shall use Deep Root Control Barrier RUB 18-2 as manufactured by Deep Root Partners, (800) 458-7668 where trees are planted within 8' feet of adjacent hardscape, water meters, joint trenching, etc. See Planting Notes on this sheet for additional information.

2 TREE PLANTING IN TREE WELL
NOT TO SCALE

SOILS MANAGEMENT NOTES

- The following organic amendments, soil amendments and fertilizer rates and quantities shall be used for bid basis only. Contractor shall arrange and pay for a soil fertility test by an accredited soils laboratory. Soil test site shall be in proposed planting area at parking lot. Soils samples shall be taken after rough grading operations are complete. Contractor shall amend the soils, except Bioretention Soil, according to soil laboratory's recommendations. The soils recommendations shall be considered a part of these contract documents. The soils report must provide the following information:
 1. Soil permeability rate in inches per hour.
 2. Soil texture test.
 3. Cation exchange capacity.
 4. Soil fertility, including test for nitrogen, potassium, phosphorus, pH, organic matter and specific conductance (electrical conductivity).
 5. Recommendation for amendments to the planting area soil.
- Topsoil:** All landscape areas shall have a minimum 8" depth of topsoil with greater depths as required for planting work. Contractor shall provide topsoil which is fertile and friable, possessing characteristics of representative productive soils on the site. It shall not contain toxic substances which may be harmful to plant growth. When herbicide contamination is suspected then a radon/rye grass growth trial must be performed. Consult with the District prior to decision to test. It shall be uniformly textured and free of all objectionable foreign materials, oil or chemicals which may be injurious to plant growth. Natural topsoil shall possess a pH factor between 5.5 and 7.5, a sodium absorption ratio (SAR) of less than 6, a baron concentration of the saturation extract of less than 1 ppm, and salinity of the saturation extract at 25 degrees C. of less than 4.0 millimhos per centimeter. If required to import topsoil, Contractor shall obtain topsoil from naturally well-drained sites where topsoil occurs in a depth of not less than four inches (4"); do not obtain from bogs or marshes.
- Organic Amendment:** Nitrified fir bark having a minimum organic content of 44% and a nitrogen content of 0.8% minimum to 1.2% maximum on a dry weight basis. Fir bark shall be shredded to pass a one quarter inch (1/4") mesh screen. Incorporate organic amendment and fertilizer into the soil to a minimum depth of six inches (6") at a minimum rate of six cubic yards (6 cy) per one thousand square feet (1,000 sf) or per specific amendment recommendations from the soils report.
- Fertilizer:**
 1. Fertilizer shall be a commercial inorganic fertilizer in the granular or pelleted form. Fertilizer shall be delivered to the site in containers labeled in accordance with the applicable State of California regulations, bearing the warranty of the producer or the grade furnished, and shall be uniform in composition, dry and free-flowing.
 2. **Nutrient Sources and Vines:**
 - a. 8N-20P-20K, and 16-6-8, pelleted type.
 - b. Sulfate = sulphur
 - c. Lime for pH adjustment of moderately acid soil
 - d. Starting one (1) month after planting, on a monthly basis: 21N-0P-0K Ammonium sulfate, 5 lbs. per 1,000 square feet.
 3. **Trees:**
 - a. 21 gram 20N-10P-5K slow release fertilizer tablets as manufactured by Agriform. Apply according to manufacturer's instructions.
 - b. After planting: 21N-0P-0K Ammonium sulfate 5lbs per 1,000 square feet.



PLANTING NOTES

1. Prior to commencement of planting, the Contractor shall verify locations of all underground utilities.
2. Irrigation system shall be fully operational prior to planting. Contractor shall thoroughly water all plants immediately after planting.
3. Installing Contractor shall verify existing grade in the field prior to planting. Finished surfaces shall be uniform and smooth. Finished grade of planting and bark mulch areas shall be flush with top of edging pavement and walks.
4. All landscape grades shall be smooth and feathered in appearance.
5. Soil for all exposed soil and planting areas shall receive Weed Fabric and a 3" minimum depth of bark mulch. Bark mulch shall be Walk on Bark, available at Crown Hill Stone Supply (707) 255-1225, or approved equal.
6. All trees planted within 8' of adjacent paving, curbing, hardscape, water meters, joint trenches, etc. shall receive Deep Root Barrier UB 24-2 (24" depth x 10' min. length) as manufactured by Deep Root Partners (800) 458-7668, or approved equal.
7. Contractor shall be responsible for the pre-ordering of all plant material after the Notice to Proceed. Photographs for all plants shall be submitted to the Landscape Architect for review and approval prior to placing order.
8. All trees shall be double staked and installed per planting details. All trees shall be of adequate trunk caliper to stands without support.
9. All trees, shrubs and vines of the same type and container size shall be matched in height and width.
10. No plant material shall be substituted without prior written consent from the Landscape Architect.
11. All plant material shall be certified by the Napa Agricultural Commissioner inspection program for freedom from the gassy winged sharpshooter or other pests identified by the Agricultural Commissioner. The Agricultural Commissioner's office shall be notified of all impending deliveries of live plants with points of origin outside of Napa County so that inspection can be arranged.
12. Contractor shall adjust all plant material around electrical utilities, valve boxes, etc., as required in the field.
13. The Plant Legend is provided for convenience only, not accurate bidding purposes. Graphic depiction of plant material shall take precedence over stated quantities. Contractor shall notify the Landscape Architect to obtain clarification if there are discrepancies.



QUATTROCCHI KWOK ARCHITECTS
638 FIFTH ST.
SANTA ROSA, CA 95404
(707) 578-0829
(707) 578-0295 FAX



CSA
707-255-4438
www.guelatrac.com



NCOE CHILD CARE PORTABLES

1407 N. Oak Street,
Calistoga, CA 94515

NAPA COUNTY OFFICER OF EDUCATION

ARCH PROJECT NO: 1705.00
DRAWN BY:
DRAWING SCALE:
PTN:

SHEET TITLE:

PLANTING PLAN AND DETAILS

SHEET NUMBER:

L-3.0



QUATTROCCHI KWOK
ARCHITECTS
Main Office:
636 Fifth Street, Santa Rosa, CA
95404
Pleasanton Office:
600 Main Street, Suite 2
Pleasanton, CA 94566
(707) 576-0829

LICENSED ARCHITECT



EAST ELEVATION BUILDING 'A'
SCALE: 1/4" = 1'-0"

2



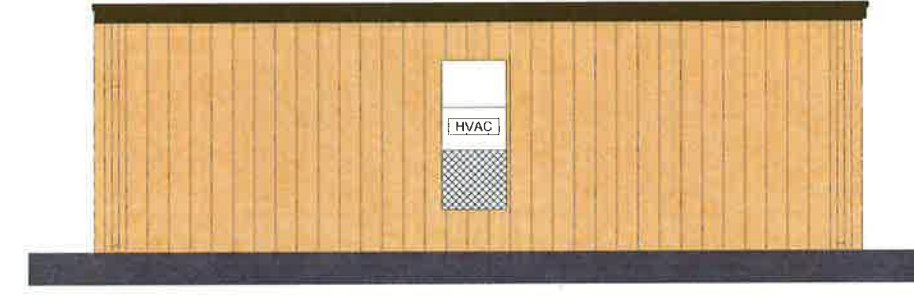
NORTH ELEVATION BUILDING 'A'
SCALE: 1/4" = 1'-0"

1



WEST ELEVATION BUILDING 'A'
SCALE: 1/4" = 1'-0"

4



SOUTH ELEVATION BUILDING 'A'
SCALE: 1/4" = 1'-0"

3

**NCOE
CHILDCARE
CENTER
PORTABLES**

1407 N. OAK STREET,
CALISTOGA, CA 94515

NAPA COUNTY
OFFICE OF
EDUCATION
2121 IMOLA AVE.
NAPA, CA 94559

REVISIONS

NO.	DESCRIPTION	DATE

ARCH PROJECT NO: 1705.00
DRAWN BY: MJD
DRAWING SCALE: AS NOTED
PTN:

CD
APRIL 17, 2019
SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER
A-2.2

BUILDING 'A' SHOWN (COLOR SIMILAR AT BUILDING 'B')