

CALIFORNIA FARM HOMES

2400 GRANT ST

CALISTOGA, CA 94515

APN: 011-010-057

DESCRIPTION OF WORK

THIS PROJECT PROPOSES A 19-LOT SUBDIVISION, CONSISTING OF 17 SINGLE-FAMILY HOMES ON INDIVIDUAL LOTS, A PRIVATE OPEN SPACE LOT WITH PROPOSED VINEYARDS AND NATIVE TREES, AND A SEPARATE LOT WITH A SHARED COMMUNITY BUILDING AND SWIMMING POOL.

PROJECT DIRECTORY

OWNER THE DEKOVAN FAMILY TRUST
PO BOX 331
CALISTOGA, CA 94515
+1 707 239 6450

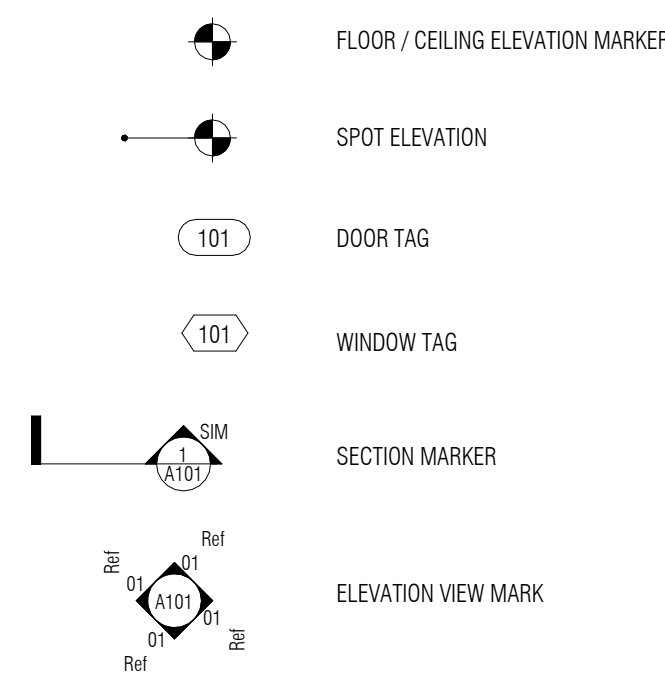
SUBDIVIDER 2400 ASSOCIATES, LLC
PO BOX 477
LAFAYETTE, CA 94549
+1 925 383 7122

ARCHITECT DEBBAS ARCHITECTURE
2550 9TH ST / SUITE 2108
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CIVIL ENGINEER ADOBE ASSOCIATES, INC
1220 N DUTTON AVE
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CI ADIT CONTEXT IMAGE NO SCALE



ALL CONSTRUCTION AND ASSEMBLIES SHALL BE PERFORMED AND FURNISHED IN STRICT ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA FIRE CODE
- CALISTOGA MUNICIPAL CODE

AS ADIT ARCHITECTURAL SYMBOLS NO SCALE

ABV	ABOVE	MAX	MAXIMUM
ADA	AMERICAN DISABILITY ACT	MECH	MECHANICAL
ADJ	ADJACENT	MFR	MANUFACTURER
AFF	ABOVE FINISH FLOOR	MIN	MINIMUM
ALUM	ALUMINUM	MIR	MIRROR
ANOD	ANODIZED	MISC	MISCELLANEOUS
ARCH	ARCHITECT OR ARCHITECTURAL	MTL	METAL
		(N)	NEW
BD	BOARD	N	NORTH
BM	BEAM	NIC	NOT IN CONTRACT
B.O.	BOTTOM OF	NUM	NUMBER
BLKG	BLOCKING	NTS	NOT TO SCALE
BLW	BELOW		
BTM	BOTTOM		
BTWN	BETWEEN	O/	OVER
B/W	BETWEEN	OC	ON CENTER
		OD	OUTER DIAMETER
CAB	CABINET	OVHD	OVERHEAD
CL	CENTER LINE		
CLG	CEILING	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
CNTR	COUNTER	PNL	PANEL
COL	COLUMN	PT	POINT
CONC	CONCRETE	PWDOR	POWDER
CONSTR	CONSTRUCTION		
CONTR	CONTRACTOR	RAD	RADIUS
CTR	CENTER	RC	RESILIENT CHANNEL
		RCP	REFLECTED CEILING PLAN
DBL	DOUBLE	RD	ROUND
DEG	DEGREE	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DIM	DIMENSION	REINF	REINFORCED
DN	DOWN	REDD	REQUIRED
DR	DOOR	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
		S	SOUTH
(E)	EXISTING	SCHED	SCHEDULE
E	EACH	SECT	SECTION
ELEC	ELECTRICAL	SHT	SHEET
ELEV	ELEVATION OR ELEVATIONS	SIM	SIMILAR
ENGR	ENGINEER	SPECS	SPECIFICATIONS
EQ	EQUAL	SSD	SEE STRUCTURAL DRAWINGS
EXT	EXTERIOR	SQ	SQUARE
		SQFT	SQUARE FEET
FF	FINISH FLOOR	SSTL	STAINLESS STEEL
FIN	FINISH	STRUCT	STRUCTURAL
FLR	FLOOR	STL	STEEL
FO	FACE OF		
FOB	FACE OF BUILDING		
FOS	FACE OF STUD	T.O	TOP OF
FP	FIREPLACE	TYP	TYPICAL
FT	FOOT OR FEET		
FTG	FOOTING	UN	UNLESS OTHERWISE NOTED
		W	WEST
GA	GAUGE	W/	WITH
GEN	GENERAL	WC	WATER CLOSET
GSM	GALVANIZED SHEET METAL	WD	WOOD
GWB	GYPSUM WALL BOARD	WDO	WINDOW
GYP	GYPSUM	WH	WATER HEATER
		W/O	WITHOUT
HD	HEAD	WT	WEIGHT
HT	HEIGHT		
ID	INNER DIAMETER		
IN	INCH OR INCHES		
INT	INTERIOR		

AB ADIT ABBREVIATIONS NO SCALE

CC ADIT CODE COMPLIANCE NO SCALE

1. NO PART OF THESE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS REQUIRING OR PERMITTING ANY WORK CONTRARY TO THE REQUIREMENTS OF ANY CODE, REGULATION, OR ORDINANCE WHICH HAS JURISDICTION OVER THIS WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
3. VERIFY ALL ROUGH OPENINGS OF DOORS AND WINDOWS AND COORDINATE PRIOR TO ORDERING DOORS AND WINDOWS.
4. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE PLANS, SECTIONS, OR DETAILS ON THE WORKING DRAWINGS.
5. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CHANGE ORDER APPROVED BY THE ARCHITECT.
6. LIFE SAFETY REQUIREMENTS SHALL MEET THE CALIFORNIA BUILDING CODE
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
8. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL GROUNDING AS REQUIRED.
9. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND BEST PRACTICES.
10. CONTRACTOR SHALL EXAMINE THE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY BE FOUND PRIOR TO THE START OF WORK.
11. THE CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO VISIT AND INSPECT THE SITE PRIOR TO CONSTRUCTION OR ORDERING ANY MATERIALS.
12. ALL DETAILS, SCHEDULES, ADDENDA AND SPECIFICATIONS BOUND SEPARATELY ARE A PART OF THE CONTRACT DOCUMENTS.
13. ALL DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE STRICTLY MAINTAINED. "CLEAR" MEANS DIMENSION FROM FACE OF FINISH TO FACE OF FINISH OR OBJECT.
14. ALL DIMENSIONS NOTED "VERIFY" OR "VF" ARE TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCE FROM THE REQUIRED DIMENSIONS MUST BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
15. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES, UNLESS OTHERWISE NOTED.
16. ALL WORK IS UNDERSTOOD TO BE (N) UNLESS NOTED AS (E).
17. THE DRAWINGS INDICATE THE GENERAL EXTENT OF (N) CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMO AND (N) WORK NECESSARY FOR A FINISHED JOB, IN ACCORDANCE WITH THE INTENTIONS OF THE CONTRACT DOCUMENTS, IS INCLUDED REGARDLESS OF WHETHER SHOWN IN THE CONTRACT DOCUMENTS.
18. (E) BUILDING DOCUMENTATION IS BASED ON "AS-BUILT" DRAWINGS AND OBSERVATIONAL SITE INVESTIGATIONS. ACTUAL BUILT CONDITIONS MAY VARY. CONTRACTOR IS TO USE CAUTION IN DEMOLITION, AND IS TO NOTIFY ARCHITECT IMMEDIATELY IF ANY VARIATIONS OR DISCREPANCIES ARE UNCOVERED.

GN ADIT GENERAL NOTES NO SCALE

VM ADIT VICINITY MAP NO SCALE

PROPOSED GENERAL SITE INFORMATION

COUNTY	CALISTOGA
ZONING	RR (NO CHANGE)
HIGH FIRE SEVERITY ZONE	NO
OVERALL LOT SIZE	782,570 SQFT
TOTAL NO. OF LOTS	19
NO. OF RESIDENTIAL LOTS	17
OVERALL SITE COVERAGE	(17 HOMES * 3930 SQFT FOOTPRINT) + 4970 SQFT CLUBHOUSE = 71,780 SQFT / 782,570 SQFT = 9.2%

PROPOSED RESIDENTIAL LOT INFORMATION (LOTS 1 - 17)

RESIDENTIAL LOT SIZE	VARIABLES; REFER TO SITE PLAN 28,400 SQFT - SMALLEST LOT 63,120 SQFT - LARGEST LOT
BUILDING FOOTPRINT	3930 SQFT
LOT COVERAGE	3930 / 28,400 = 13.83% - SMALLEST LOT 3930 / 63,120 = 6.22% - LARGEST LOT
BUILDING HEIGHT	23' - 7 1/2" AFF - AVERAGE HEIGHT 28' - 6" AFF - T.O. RIDGE
PARKING SPACES	5 PER HOME (2 GARAGE + 3 DRIVEWAY) 85 TOTAL (17 HOMES)

PROPOSED COMMUNITY CLUBHOUSE LOT INFORMATION (LOT A)

CLUBHOUSE LOT SIZE	49,606 SQFT
CLUBHOUSE USE	FOR RESIDENTS AND ACCOMPANIED GUESTS
BUILDING FOOTPRINT	4970 SQFT
LOT COVERAGE	4970 SQFT / 49,606 SQFT = 10.0%
BUILDING HEIGHT	10'-0"
PARKING SPACES	13

PROPOSED LOT WITH OPEN SPACE CONSERVATION EASEMENT (LOT B)

LOT SIZE	179,049 SQFT
OPEN SPACE CONSERVATION EASEMENT	163,610 SQFT

PROJECT NOTES:

1. WATER USE AND WASTEWATER GENERATION TO COMPLY WITH THE CITY OF CALISTOGA'S GUIDELINES.
2. SOLAR PANELS TO BE INSTALLED ON ALL BUILDINGS.
3. BUILDINGS WILL BE SUPPLIED WITH BOTH ELECTRICITY AND GAS.
4. THERE WILL BE NO FENCING AROUND THE OVERALL SITE PERIMETER AND IN BETWEEN PROPERTIES.

PD ADIT PROJECT DATA AND NOTES NO SCALE

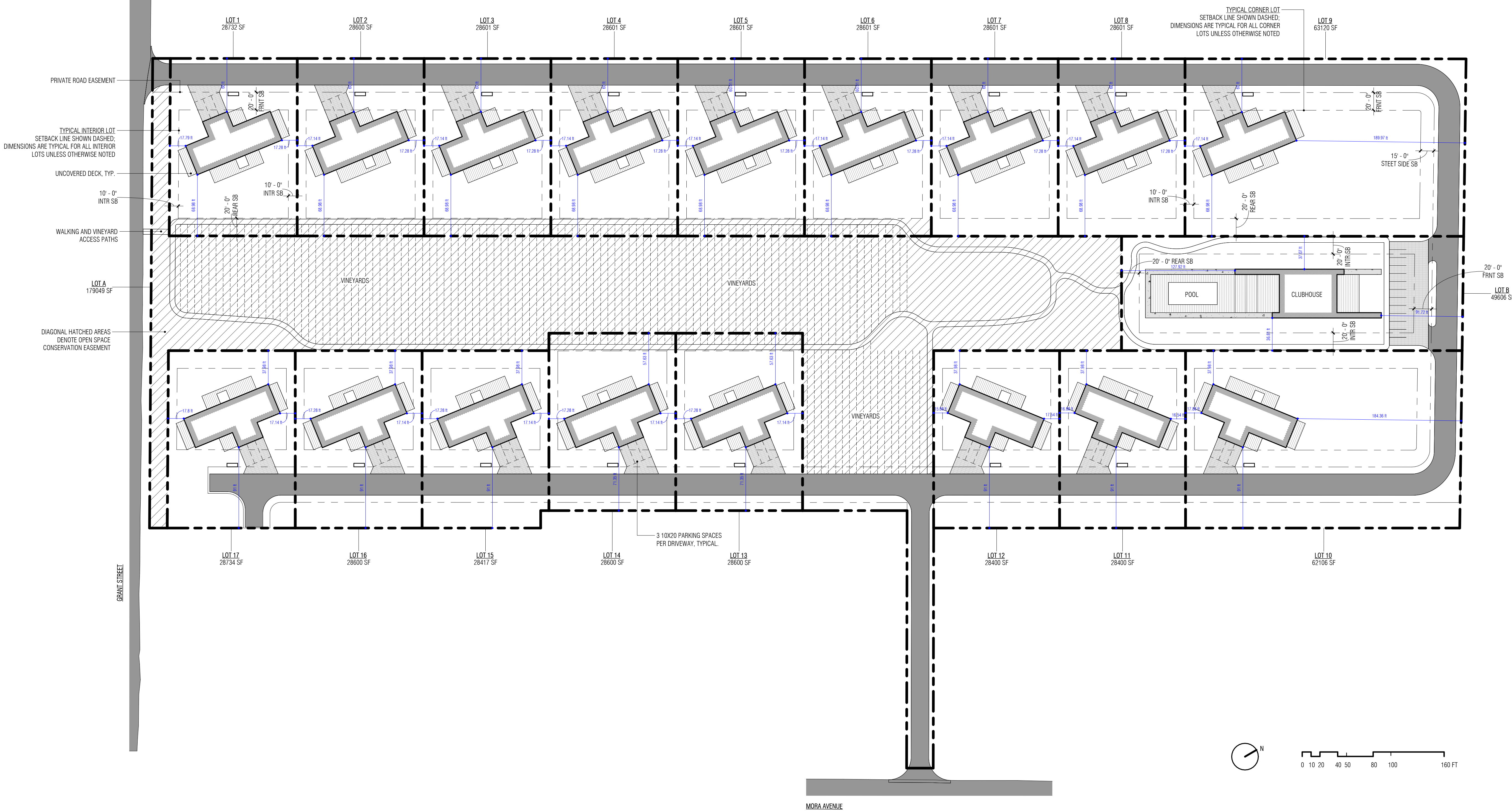
PI ADIT PROJECT INFORMATION NO SCALE

A001	COVER SHEET / GENERAL INFO
A101	SCHEMATIC SITE PLAN
A102	SCHEMATIC LANDSCAPE PLAN
A151	MODEL 01 - FLOOR PLANS
A152	MODEL 01 - FLOOR PLANS
A153	MODEL 01 - EXTR ELEVATIONS
A154	MODEL 01 - PERSPECTIVE
A161	MODEL 02 - FLOOR PLANS
A162	MODEL 02 - FLOOR PLANS
A163	MODEL 02 - EXTR ELEVATIONS
A164	MODEL 02 - PERSPECTIVE
A171	CLUBHOUSE - FLOOR PLAN
A172	CLUBHOUSE - EXTR ELEVATIONS
A173	CLUBHOUSE - PERSPECTIVE
C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS MAP
C3.0	SITE LAYOUT PLAN
C4.0	GRADING & DRAINAGE PLAN
C4.1	GRADING & DRAINAGE PLAN
C4.2	GRADING & DRAINAGE PLAN
C5.0	UTILITY PLAN
C5.1	UTILITY PLAN
C5.2	UTILITY PLAN
C6.0	EROSION & SEDIMENT CONTROL PLAN

SI ADIT SHEET INDEX NO SCALE

SCHEMATIC SITE PLAN

THIS DRAWING SHOULD BE PRINTED ON 24" X 36" SHEET. AT 100% SCALE, THE FOLLOWING LINE SHOULD BE ONE INCH LONG: _____



RESIDENTIAL HOME SIZES

APPROXIMATE BLDG GROSS FLOOR AREA	INDIVIDUAL HOME	3800 SQFT
TOTAL SQFT OF 17 HOMES		64,600 SQFT
APPROXIMATE BLDG DIMS *	TYP BLDG LENGTH	104'-6"
	TYP BLDG WIDTH	33'-6"

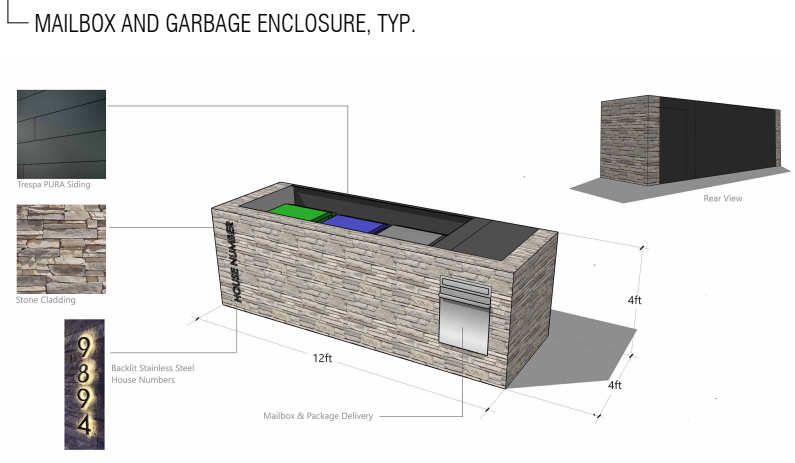
**REFER TO EXTR ELEVATIONS FOR DETAILED DIMS*

THE RESIDENTIAL DEVELOPMENT WILL CONSIST OF A COMBINATION OF HOMES AT TWO DIFFERENT SIZES (3400 SQFT AND 3800 SQFT). THE SITE PLAN ABOVE DEPICTS THE 3800 SQFT MODEL WHICH HAS THE LARGEST FOOTPRINT.

SCHEMATIC LANDSCAPE PLAN



- | | | |
|--|---|-----------------|
| DROUGHT RESISTANT PLANTING | UNCOMPACTED GRAVEL | PERVIOUS PAVERS |
| GRASSES
ORANGE SEDGE (CAREX TESTACEA)
STRAWBERRIES & CREAM RIBBON GRASS (PHALARIS ARUNDINACEA)
MEXICAN FEATHER GRASS (NASSELLA TENUISSIMA)
DEERGRASS (MUHLBERGIA RIGENS)
MOSQUITO GRASS (BOUTELLOIA GRACILIS)
CALIFORNIA FUCHSIA (EPILOBIUM CANUM) | DECOMPOSED GRANITE (STABILIZED, ADA ACCESSIBLE) | |
| FLOWERS
HUMMINGBIRD SAGE (SALVIA SPATHACEA)
CALIFORNIA POPPY (ESCHSCHOLZIA CALIFORNICA) | PAVED ROADS (CHIP SEALED) | |
| DROUGHT RESISTANT GROUND COVER | VINEYARDS | |
| CREeping THYME (THYMUS SERPYLLUM)
DWARF PERIWINKLE (VINCA MINOR)
MOSS PHLOX (PHLOX SUBULATA) | DECKING | |
| FIELDS | (M) TREES | |
| SPANISH LAVENDER (LAVANDULA STOECHAS)
CREeping PHLOX (PHLOX SUBULATA) | MULGA (ACACIA ANEURA)
EASTERN REDBUD (CERCIS CANADENSIS)
PARRY MANZANITA (ARCTOSTAPHYLOS PARRYANA)
MEYER LEMON (CITRUS MEYER)
ORANGE (CITRUS SINENSIS)
TANGERINE (CITRUS TANGERINA)
SWAN HILL FRUITLESS OLIVE (OLEA EUROPAEA) | |
| HEDGES | EXISTING TREE TO REMAIN | |
| WILLOW HYBRID TREE (SALIX MATSUDANA ALBA) | EXISTING TREE TO BE REMOVED | |
| | EXISTING TREE DRIPLINE | |



THIS DRAWING SHOULD BE PRINTED ON 24" X 36" SHEET. AT 100% SCALE. THE FOLLOWING LINE SHOULD BE ONE INCH LONG.

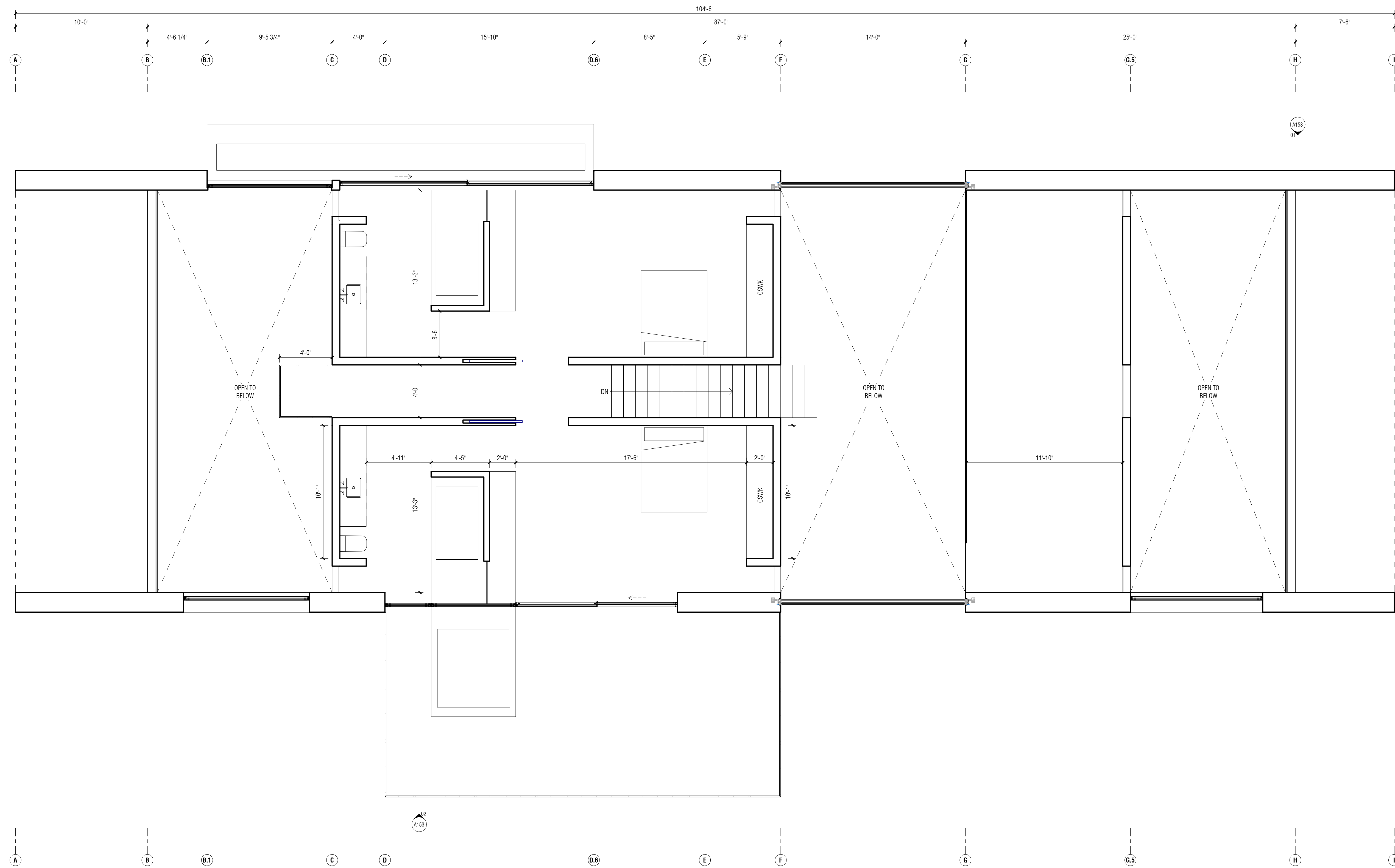
MODEL 01 - FLOOR PLANS

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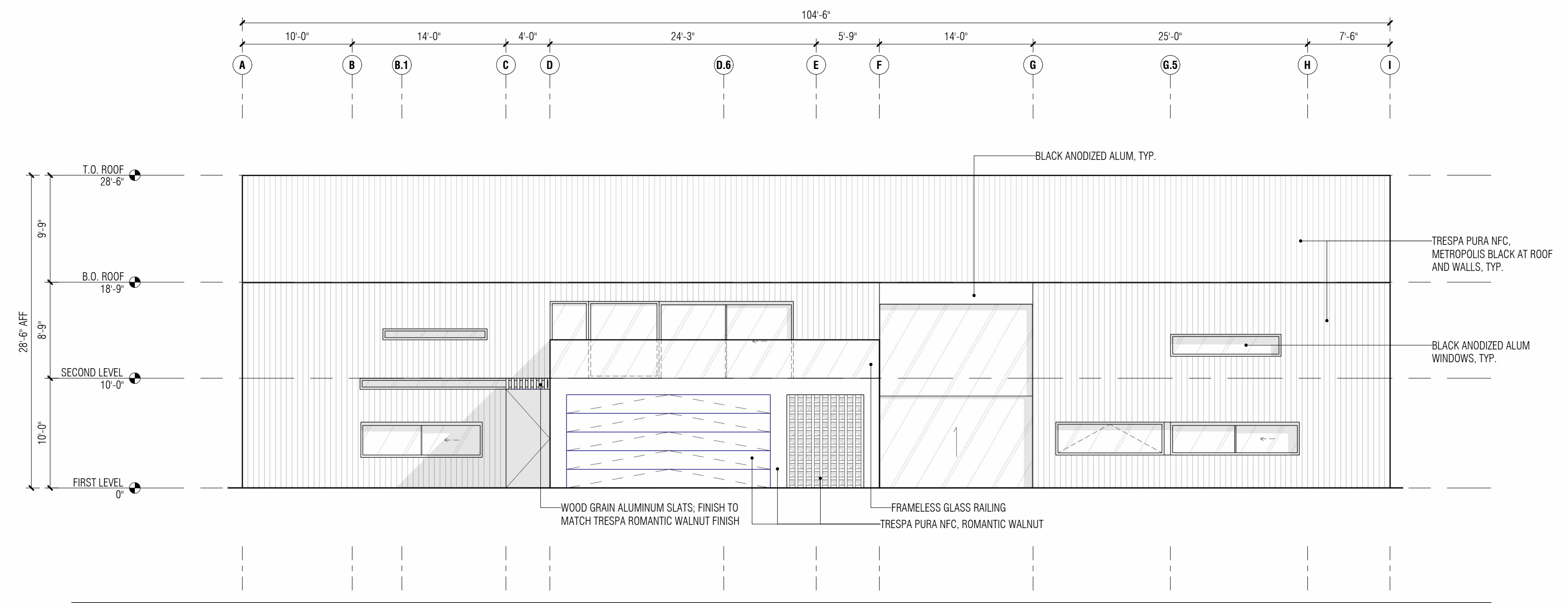
01 FIRST LEVEL
A151/01
1/4" = 1'-0"



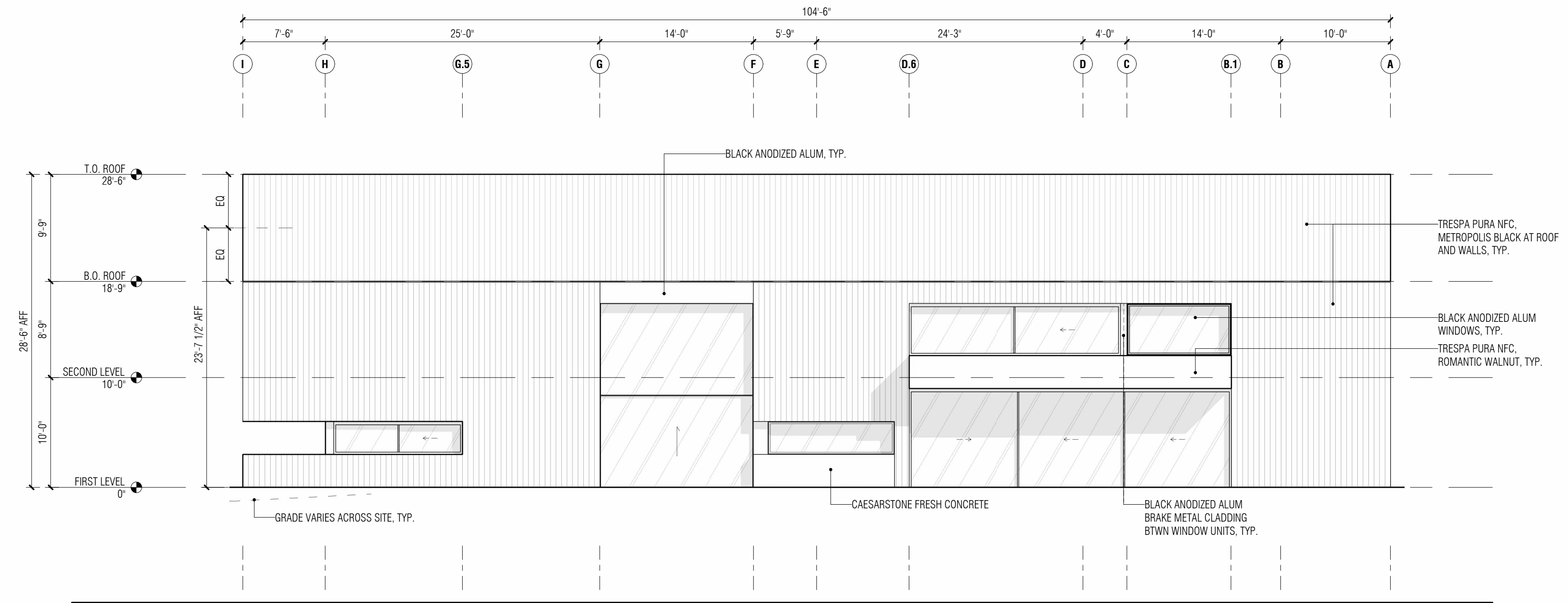
MODEL 01 - FLOOR PLANS



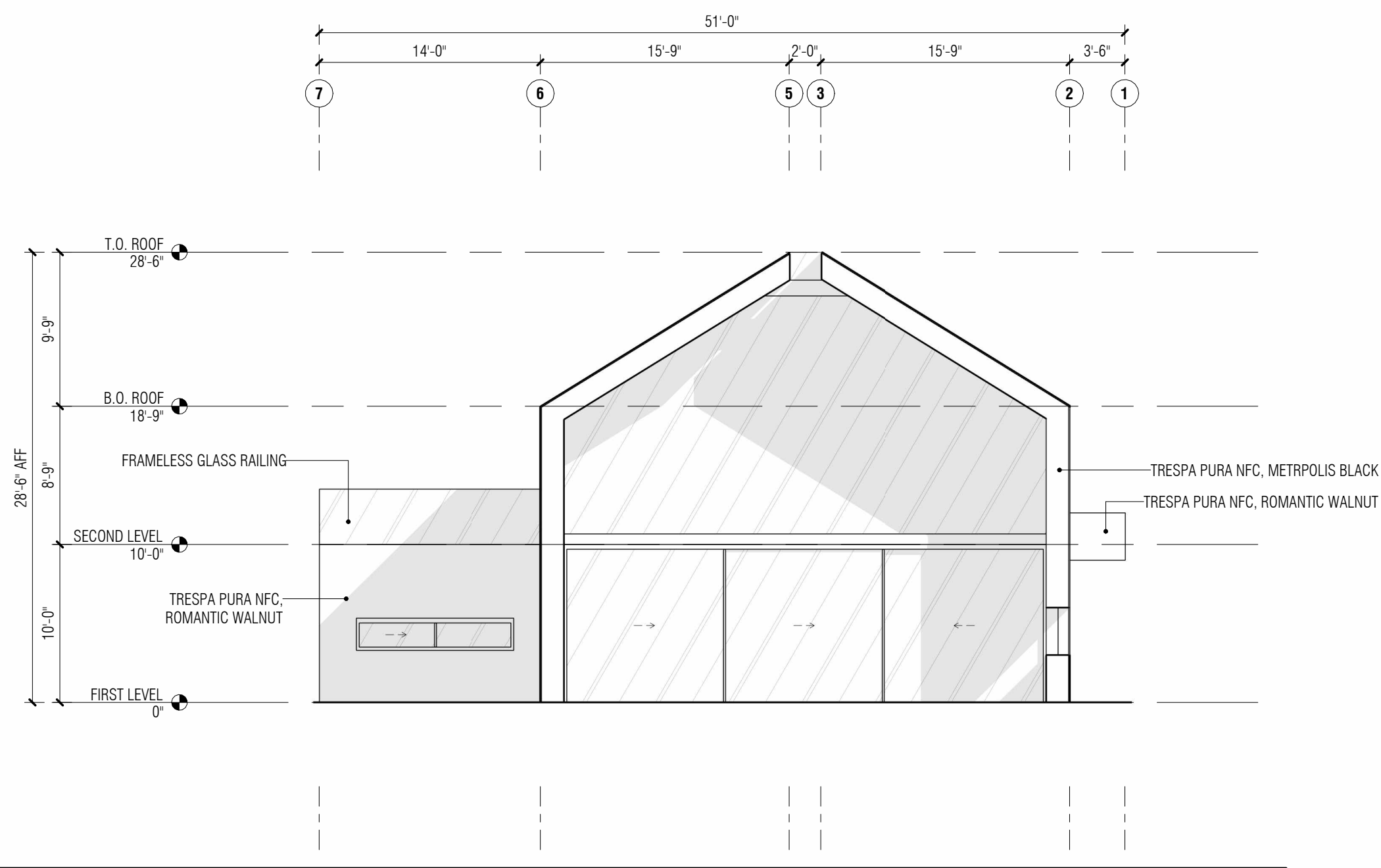
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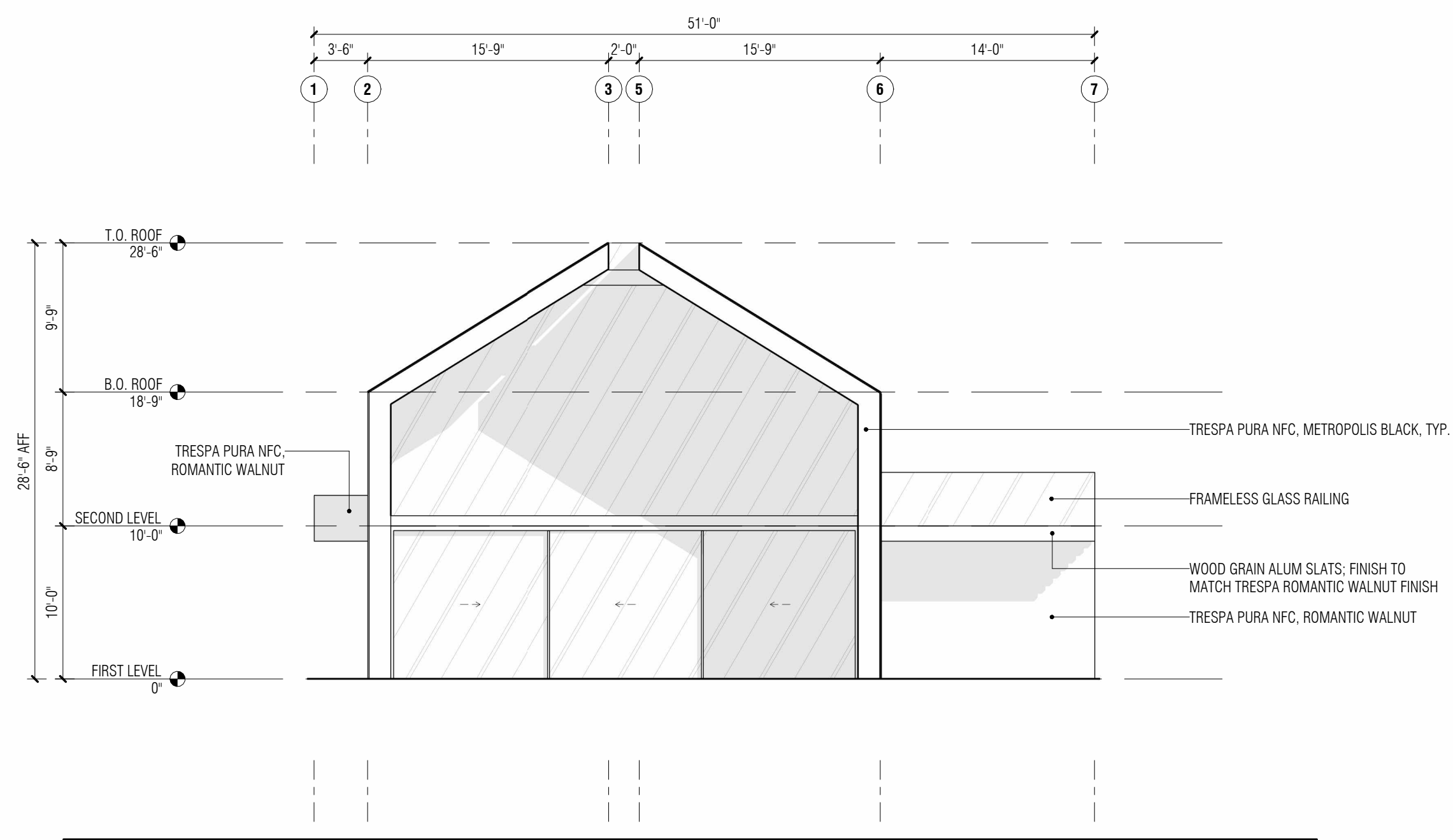
02 SOUTH ELEVATION
ASB/01
1/8" = 1'-0"



01 NORTH ELEVATION
ASB/01
1/8" = 1'-0"



04 EAST ELEVATION
ASB/01
1/8" = 1'-0"



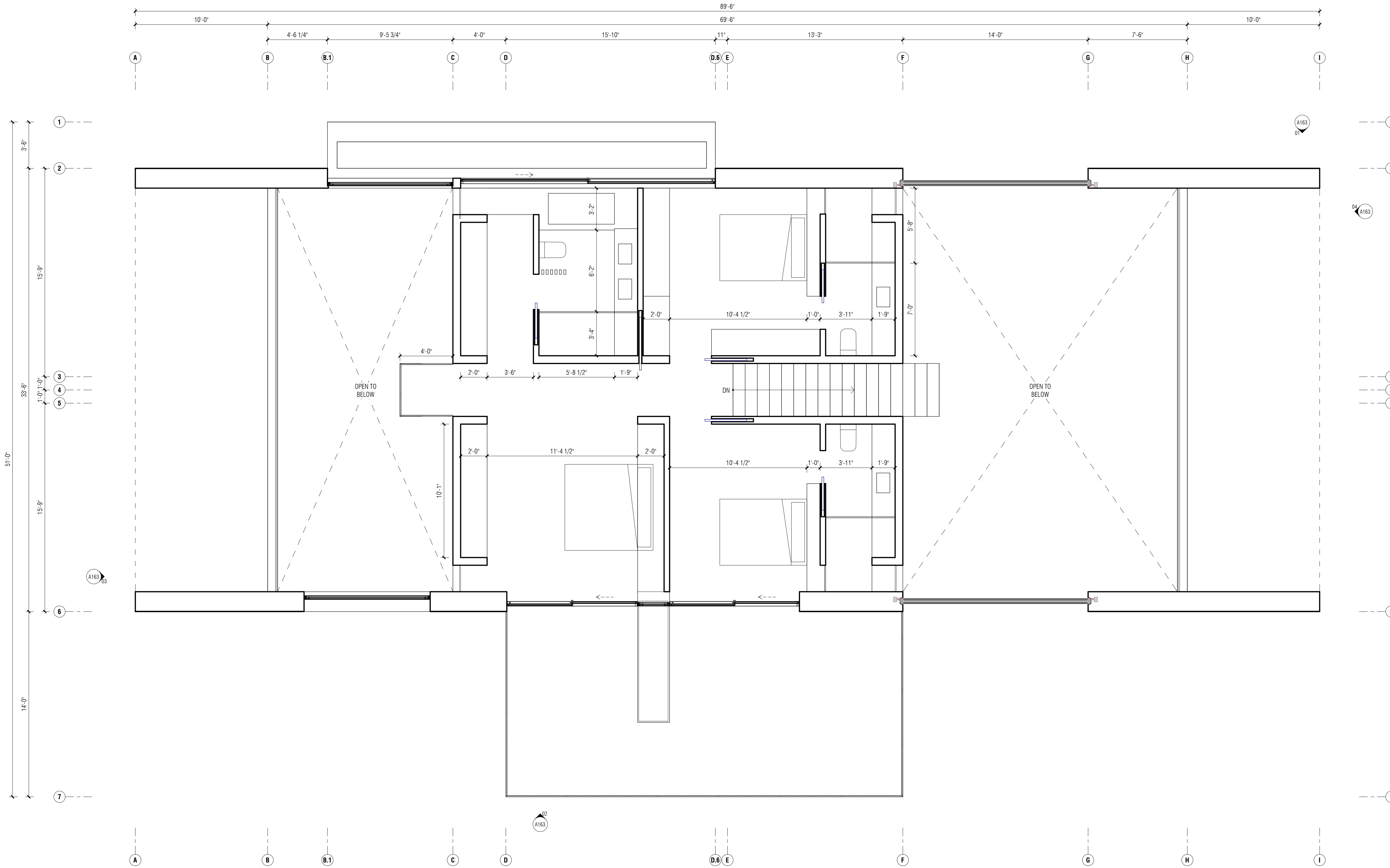
03 WEST ELEVATION
ASB/01
1/8" = 1'-0"

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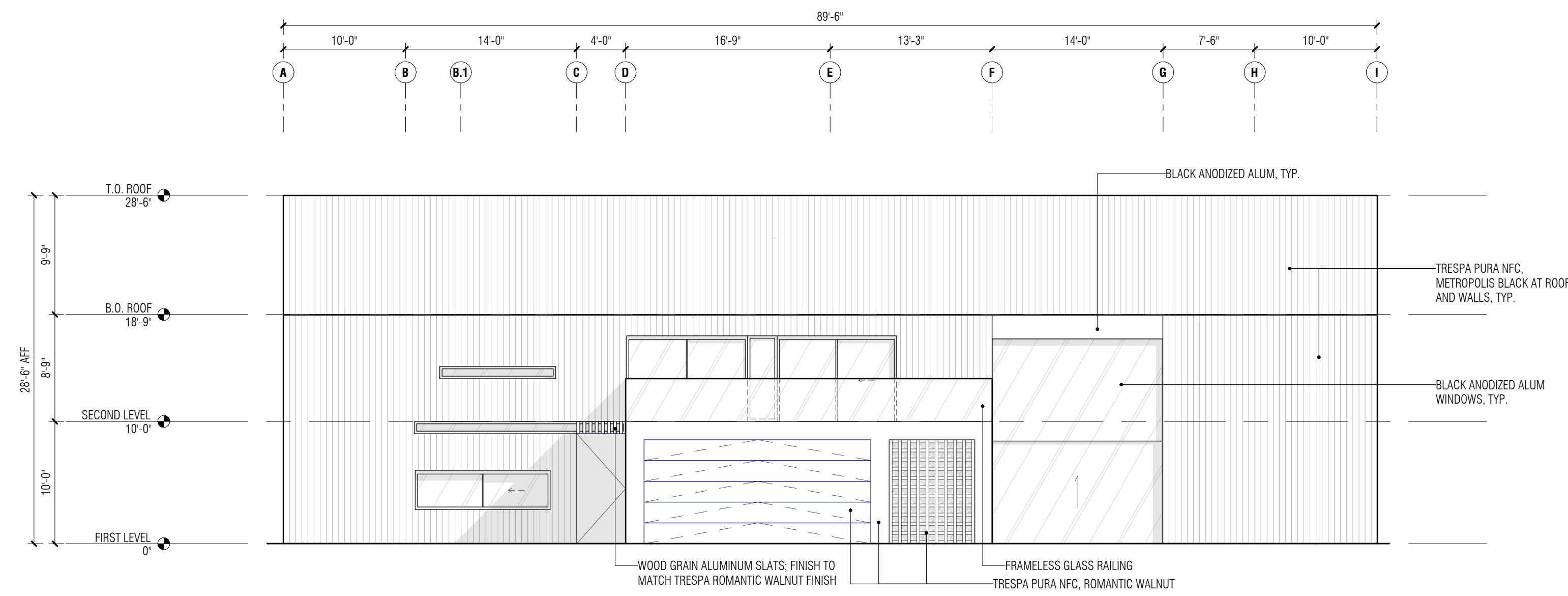
MODEL 02 - FLOOR PLANS

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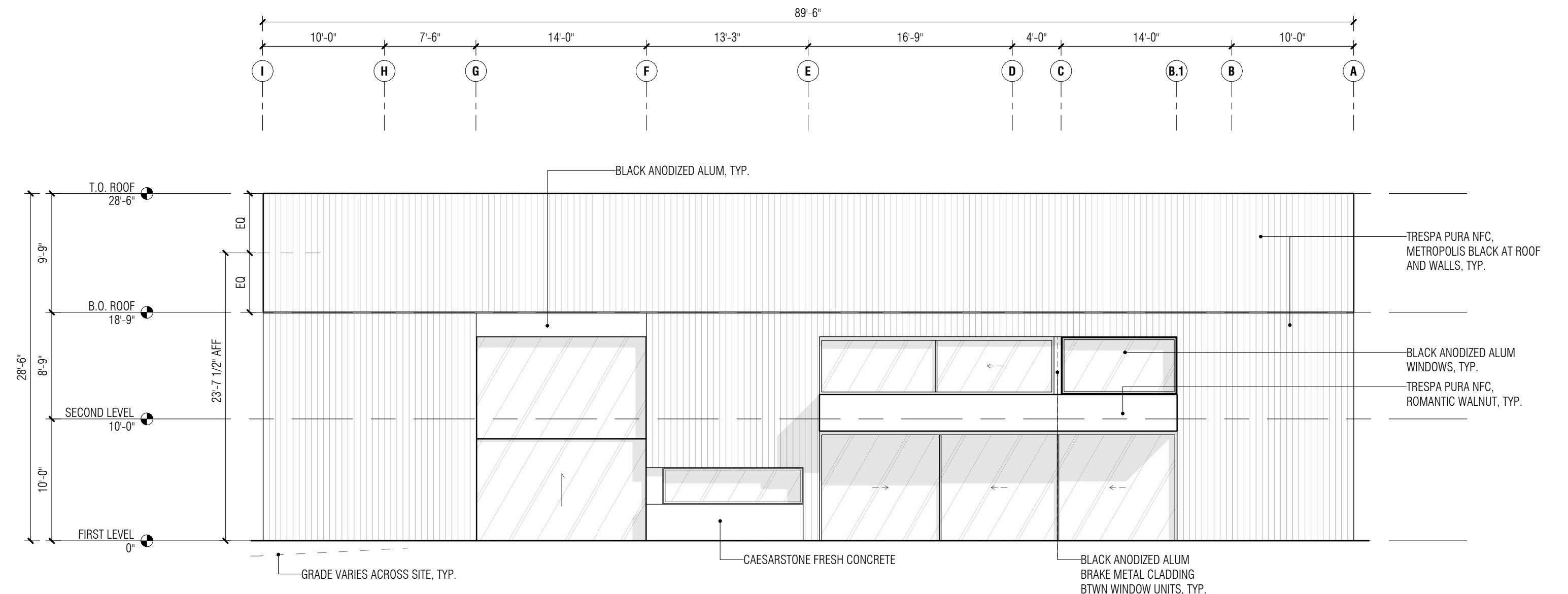
01 SECOND LEVEL
1/4" = 1'-0"



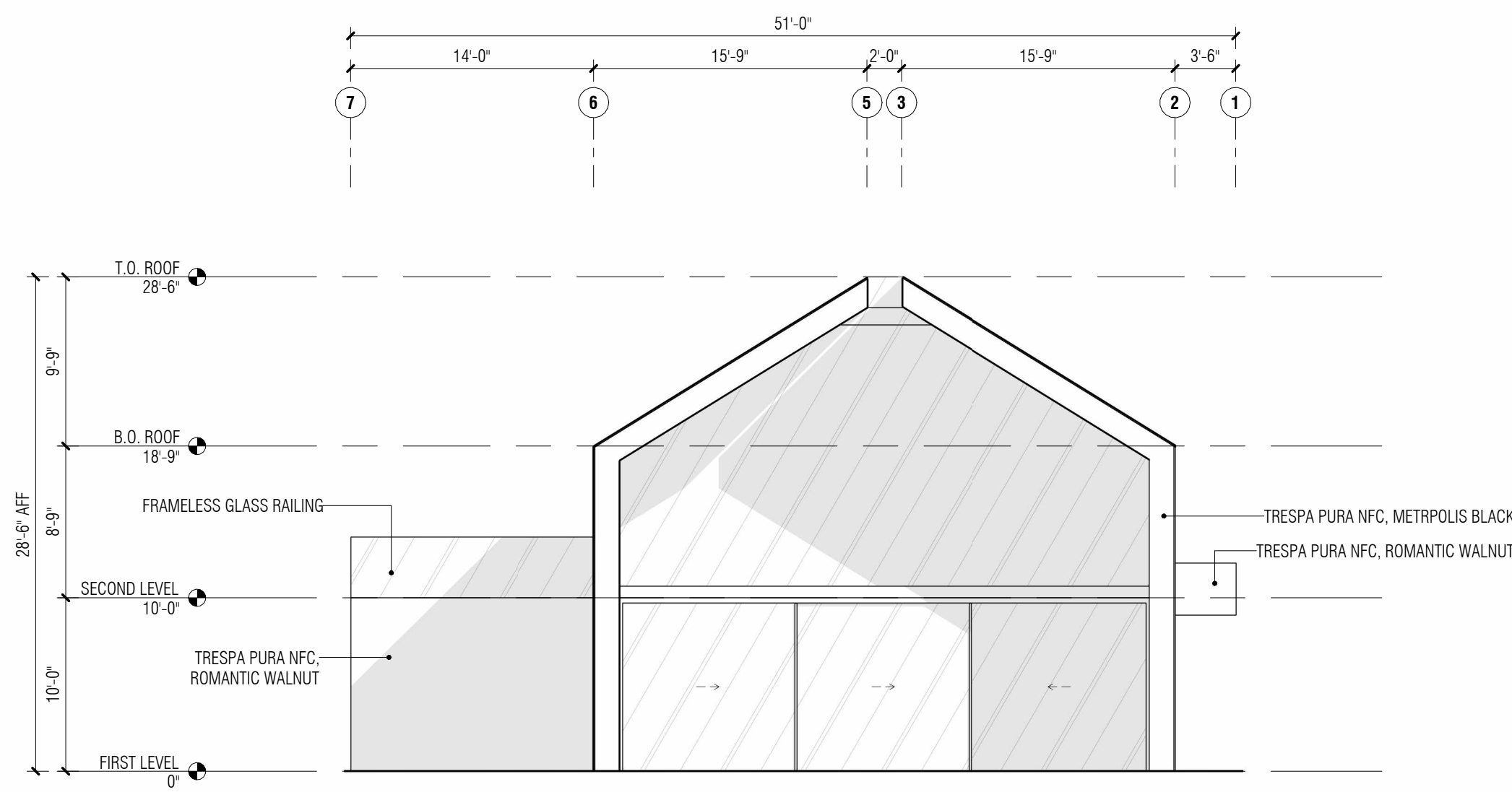
A162



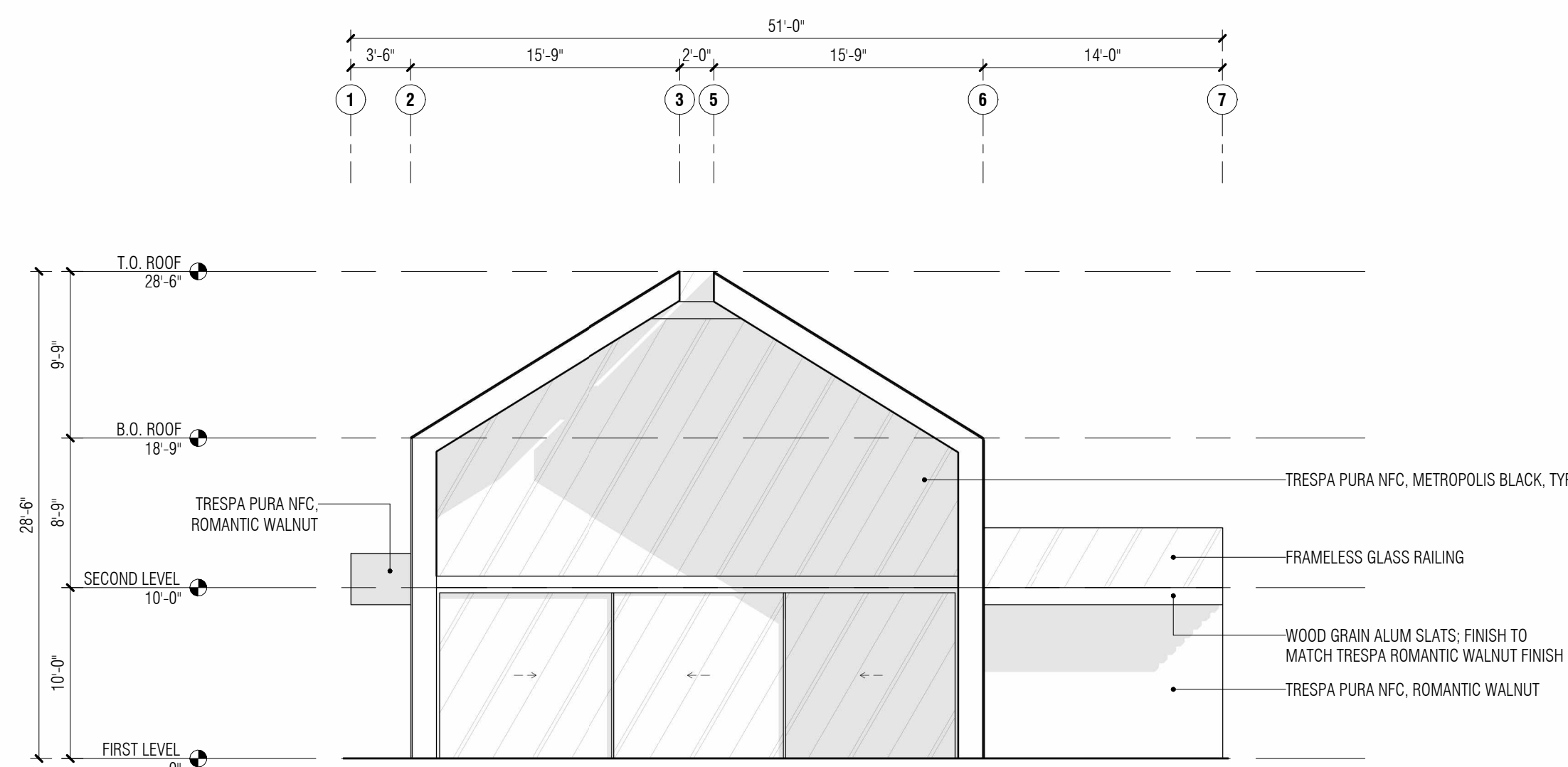
02 SOUTH ELEVATION
1/8" = 1'-0"



01 NORTH ELEVATION
1/8" = 1'-0"



04 EAST ELEVATION
1/8" = 1'-0"

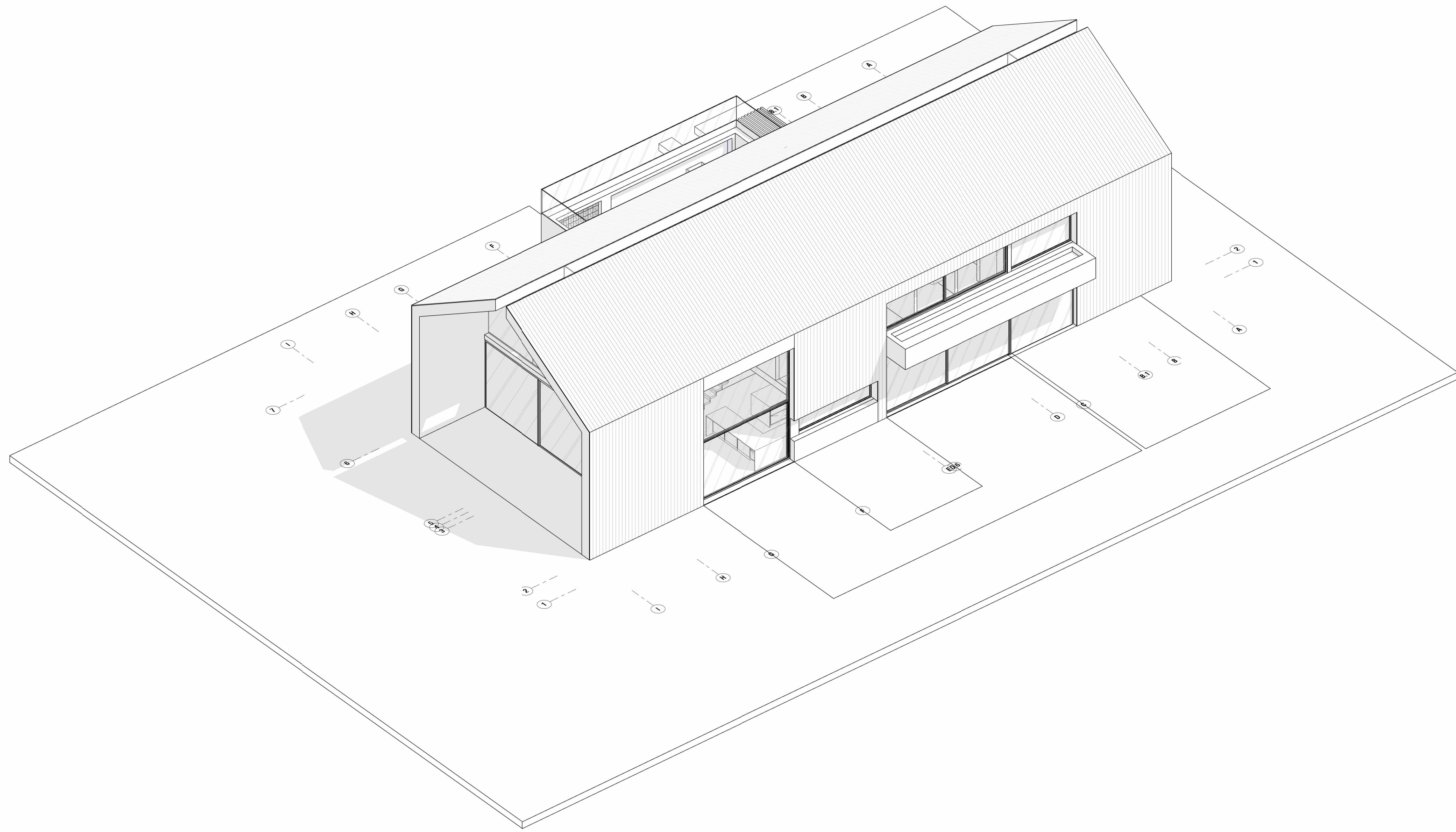


03 WEST ELEVATION
1/8" = 1'-0"

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CONSULTANT

PROJECT
CALIFORNIA FARM HOMES
2400 GRANT STREET
CALISTOGA, CA 94515



MODEL 02 - PERSPECTIVE

LICENSE STAMP

NOT FOR
CONSTRUCTION

REV/ISSUE	MM/DD/YYYY
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DATE	JAN 22 2024
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SCALE	AS NOTED
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DRAWN BY	NW
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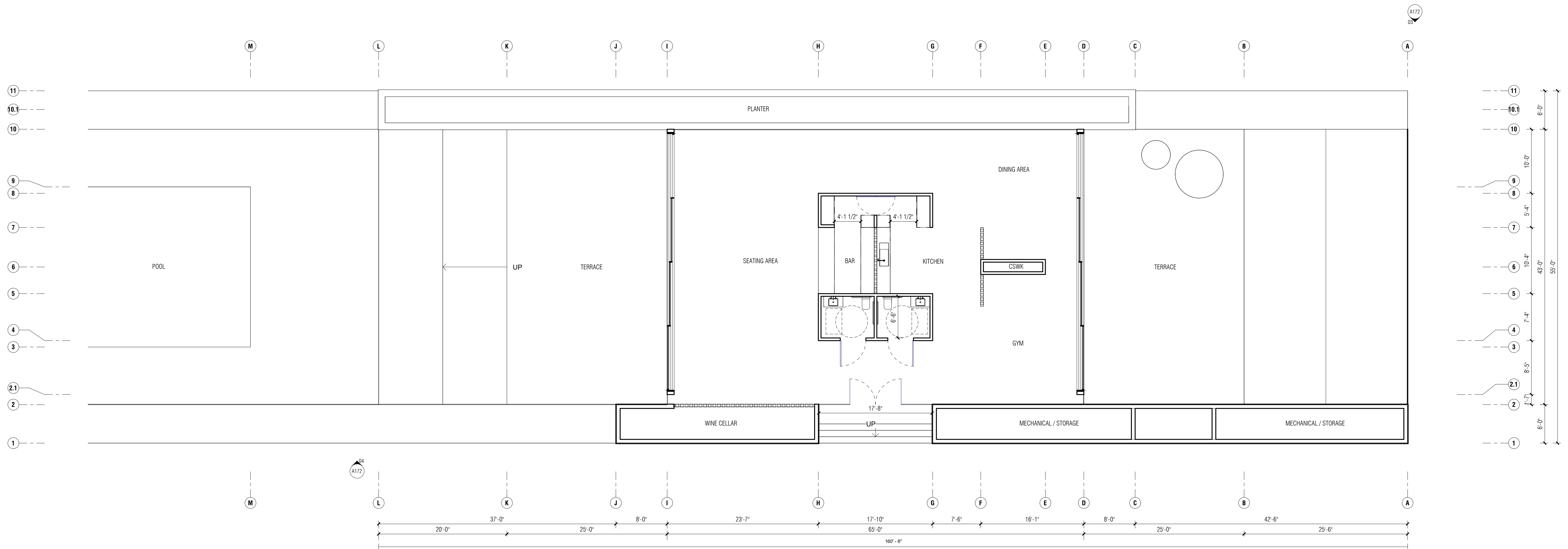
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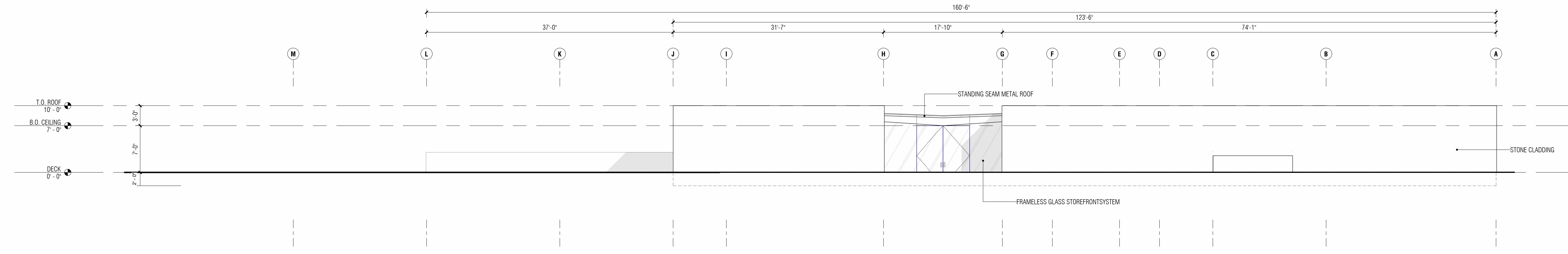
SHEET	
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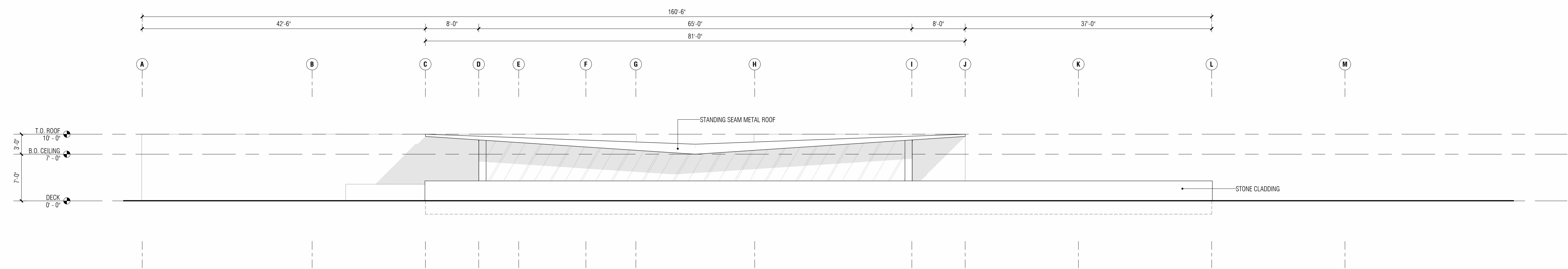
CLUBHOUSE - FLOOR PLANS

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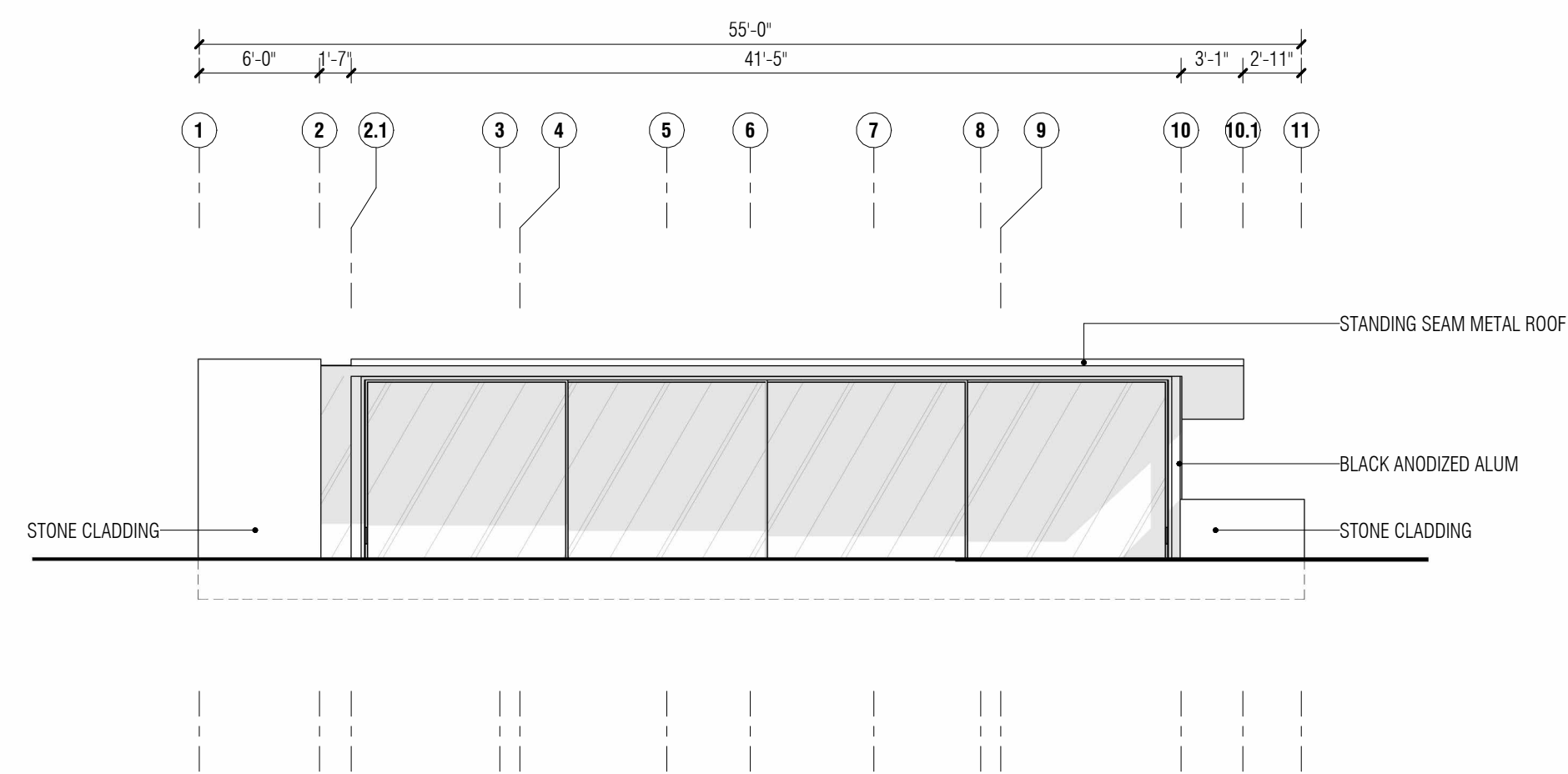




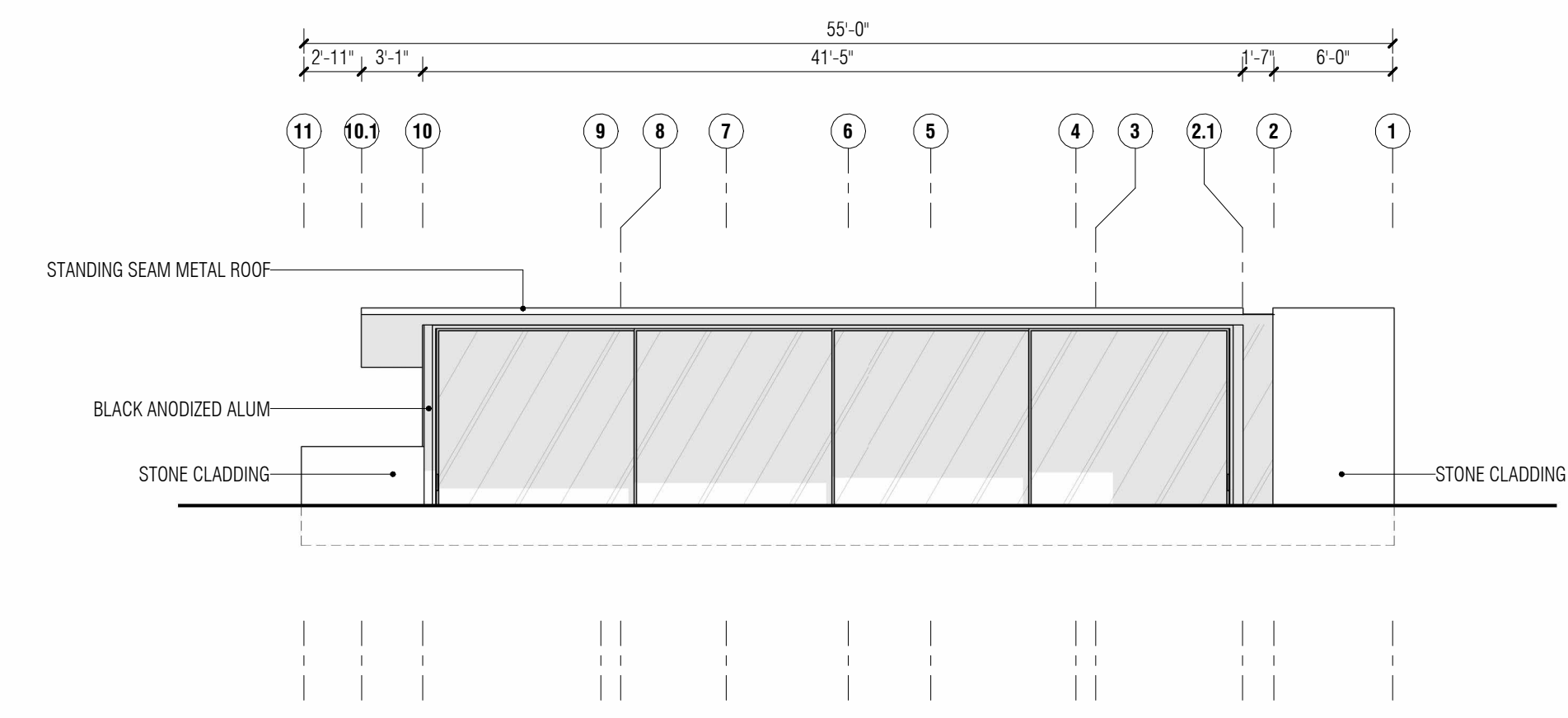
04 SOUTH ELEVATION
A171.01
1/8" = 1'-0"



03 NORTH ELEVATION
A171.01
1/8" = 1'-0"



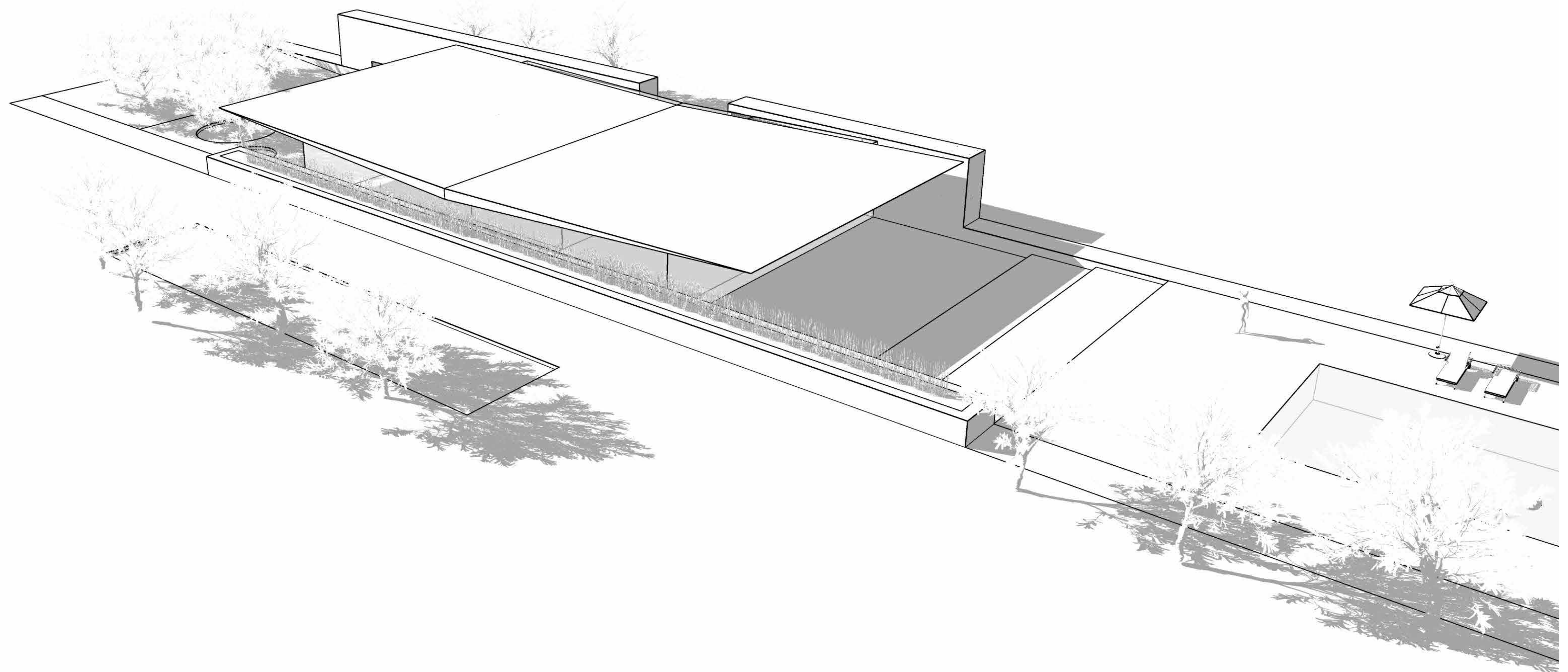
02 EAST ELEVATION
A171.01
1/8" = 1'-0"



01 WEST ELEVATION
A171.01
1/8" = 1'-0"

CONSULTANT

PROJECT
CALIFORNIA FARM HOMES
2400 GRANT STREET
CALISTOGA, CA 94515



CLUBHOUSE - PERSPECTIVE

LICENSE STAMP

NOT FOR
CONSTRUCTION

REV/ISSUE MM/DD/YYYY

DATE JAN 22 2024

SCALE AS NOTED

DRAWN BY AS

JOB # 2307-CAL

SHEET

THIS DRAWING SHOULD BE PRINTED ON 24" X 36" SHEET. AT 100% SCALE. THE FOLLOWING LINE SHOULD BE ONE INCH LONG: _____

TENTATIVE MAP 2400 GRANT STREET SUBDIVISION

2400 Grant Street
Calistoga, California

APN 011-010-057

ENGINEER / SURVEY

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1220 N DUTTON AVENUE
SANTA ROSA, CALIFORNIA 95401
PHONE: (707) 541-2301
FAX: (707) 541-2301

OWNER

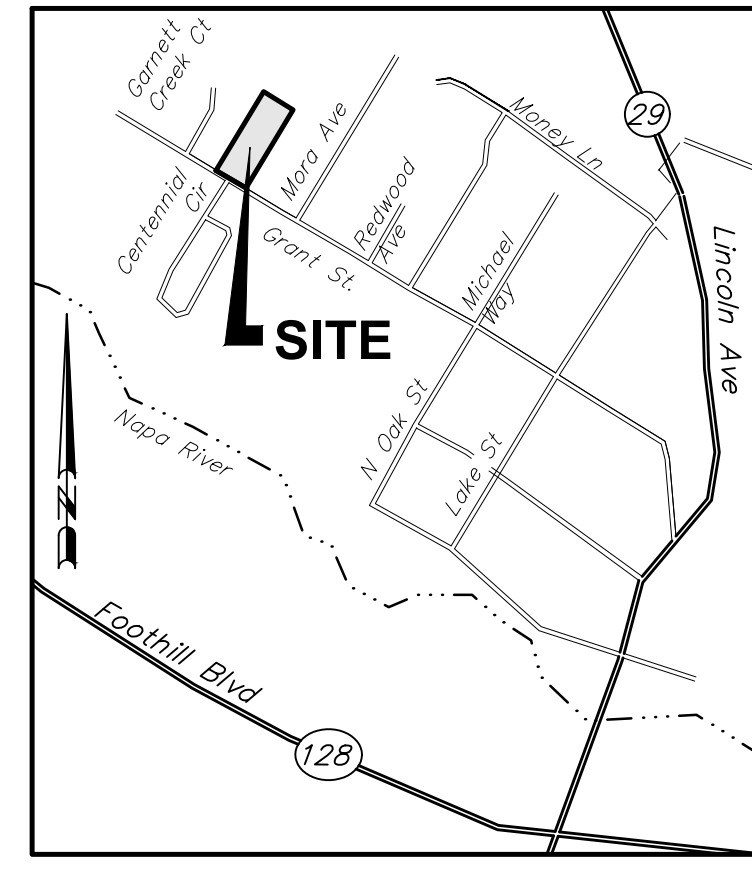
THE DEVOKEN FAMILY TRUST
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CONTACT: RONALD DEKOVEN
RDK@DEKOVENCHAMBERS.COM
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CONTACT: JEFF STONE
JBSTONE@DIAMONDCONSTRUCTIONINC.COM
PHONE: (925) 383-7122

ABBREVIATIONS

AAI	ADOBE ASSOCIATES, INC.	HDPE	HIGH DENSITY POLYETHYLENE
AB	AGGREGATE BASE	HORIZ	HORIZONTAL
AC	ASPHALT CONCRETE	HP	HIGH POINT
AD	AREA DRAIN	HWY	HIGHWAY
ADA	AMERICANS WITH DISABILITIES	IG	INVERT GRADE
ACT	APPROXIMATE	INV	INVERT
APPROX	APPROXIMATE	LF	LINEAR FEET
BCR	BEGIN HORIZONTAL CURVE	LAT	LATERAL
BLDG	BUILDING	LS	LANDSCAPE
BM	BENCH MARK	MAX	MAXIMUM
BNDY	BOUNDARY	MH	MANHOLE
BO	BLOWOFF VALVE	MIN	MINIMUM
BSW	BACK OF SIDEWALK	MON	MONUMENT
BVC	BEGIN VERTICAL CURVE	NTS	NOT LOCATED IN FIELD
C&G	CURB & GUTTER	NL	NUMBER
CB	CATCH BASIN	NO	NO PARKING SIGN
CIPP	CAST-IN-PLACE PIPE	OC	ON CENTER
C	CENTERLINE	PC	POINT OF COMPOUND CURVE
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CO	CLEANOUT	PL	PROPERTY LINE
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CONN	CONNECTION	PVC	POLYVINYL CHLORIDE PIPE
DCV	DETECTOR CHECK VALVE	PR	PRIVATE
DDCV	DOUBLE DETECTOR CHECK VALVE	RCE	REGISTERED CIVIL ENGINEER
DC	DECOMPOSED GRANITE	RCP	REINFORCED CONCRETE PIPE
DI	DRAINAGE INLET	RDWD	REDWOOD
DIA	DIAMETER	RPPB	REDUCED PRESSURE BACKFLOW PREVENTOR
DS	DOWN SPOUT	R/W	RIGHT OF WAY
DW	DOMESTIC WATER	RWL	RECLAIMED WATER LINE
DWC	DRAWING	S	SLOPE
DWY	DRIVEWAY	SCH	SCHEDULE
EC	END HORIZONTAL CURVE	SCHWA	SONOMA COUNTY WATER AGENCY
ECR	END CURB RETURN	SD	STORM DRAIN
EG	EXISTING GROUND	SF	SQUARE FEET
EP	EDGE OF PAVEMENT	SL	STREET LIGHT
EL	ELEVATION	STD	STANDARD
ESMT	EASEMENT	S/W	SIDEWALK
EUC	EUCALYPTUS	TEL	TOP OF CURB
EVC	END VERTICAL CURVE	TEL	TELEPHONE
EX	EXISTING	TYP	TYPICAL
FL	FLOWLINE	UNO	UNLESS NOTED OTHERWISE
FNH	FINISH GRADE	VAR	VARIABLE
FR	FIRE RISER	VC	VERTICAL CURVE
FOC	FACE OF CURB	VERT	VERTICAL
FS	FINISHED SURFACE	W	WATER
FW	FIRE WATER	WM	WATER METER
G	GAS MAIN	WV	WATER VALVE
GB	GRADE BREAK	WWF	WELDED WIRE FABRIC
GR	GRATE		
GW	GUY WIRE		
HC	HANDICAPPED RAMP		



VICINITY MAP
NOT TO SCALE

GRADING QUANTITIES:

Site Grading is based upon subgrade to existing grade. No account has been taken for strippings, expansion or contraction. Volumes should be verified and determined independently by the contractor.

CUT	FILL	NET	BASE ROCK
3,850 CY	3,760 CY	90 CY (CUT)	3,480 CY

Note:
Excess material to be off-hauled to an approved location or placed onsite under the direction of the project Soils Engineer. Earth materials placed onsite not shown on these plans may require revisions(s) to the grading permit.
Area of Disturbance = 16.17 Acres

SHEET INDEX

C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS MAP
C3.0	SITE LAYOUT PLAN
C4.0-C4.2	GRADING & DRAINAGE PLAN
C5.0-C5.2	UTILITY PLAN
C6.0	EROSION & SEDIMENT CONTROL PLAN

UTILITIES

SEWER SERVICE:	CITY OF CALISTOGA
WATER SERVICE:	CITY OF CALISTOGA
TELEPHONE:	AT&T
GAS/ELECTRIC:	PG&E
CABLE SERVICE:	COMCAST
FIRE PROTECTION:	CITY OF CALISTOGA

SITE INFORMATION

TOTAL NO. OF LOTS:	19
TOTAL NO. OF RESIDENTIAL LOTS:	17
SITE AREA:	782,570 SF (17.97 ACRES)
AVERAGE RESIDENTIAL LOT SIZE =	32,583 SF (0.75 ACRE)
MAXIMUM RESIDENTIAL LOT SIZE =	63,120 SF (1.45 ACRE) - LOT 9
MINIMUM RESIDENTIAL LOT SIZE =	28,400 SF (0.65 ACRE) - LOTS 11 & 12

PRESENT ZONING: RURAL RESIDENTIAL - 1 UNIT/ACRE

PROPOSED ZONING: RURAL RESIDENTIAL - 1 UNIT/ACRE

FIRE SEVERITY ZONE: NO FIRE HAZARD SEVERITY RATING FOUND

HERITAGE TREES TO BE REMOVED (TAG NOS): TO BE DETERMINED

SITE TOPOGRAPHY: EXISTING AVERAGE CROSS SLOPE = <1%
PROPOSED LOT AVERAGE CROSS SLOPE = <1%

GEOTECHNICAL: IN PROGRESS

LEGEND

PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY BOUNDARY
	---	COMPACT PARKING
---	---	CURB & GUTTER
---	---	SANITARY SEWER & MANHOLE
---	---	SANITARY SEWER & CLEANOUT
---	---	SANITARY SEWER LATERAL
---	---	STORM DRAIN & MANHOLE
---	---	STORM DRAIN & DRAINAGE INLET (DI)
---	---	STORM DRAIN & AREA DRAIN (AD)
---	---	ROOF DRAIN & DOWN SPOUT (DS)
---	---	WATER SERVICE / WM
---	---	WATER SERVICE / RPPB
---	---	FIRE LINE / DDCV
---	---	BLOW-OFF
---	---	WATER MAIN & GATE VALVE
---	---	FIRE HYDRANT
---	---	STREET SIGN
---	---	STREET NAME SIGN
---	---	JOINT TRENCH COMPOSITE DRY UTILITY (BY OTHERS)
---	---	TRANSFORMER (BY OTHERS)
---	---	LIGHT STANDARD
---	---	UTILITY POLE W/WO GUY WIRE
---	---	DETAIL X ON SHEET CX.X
---	---	GRASS-LINED DRAINAGE SWALE
---	---	STRAW WATTLE

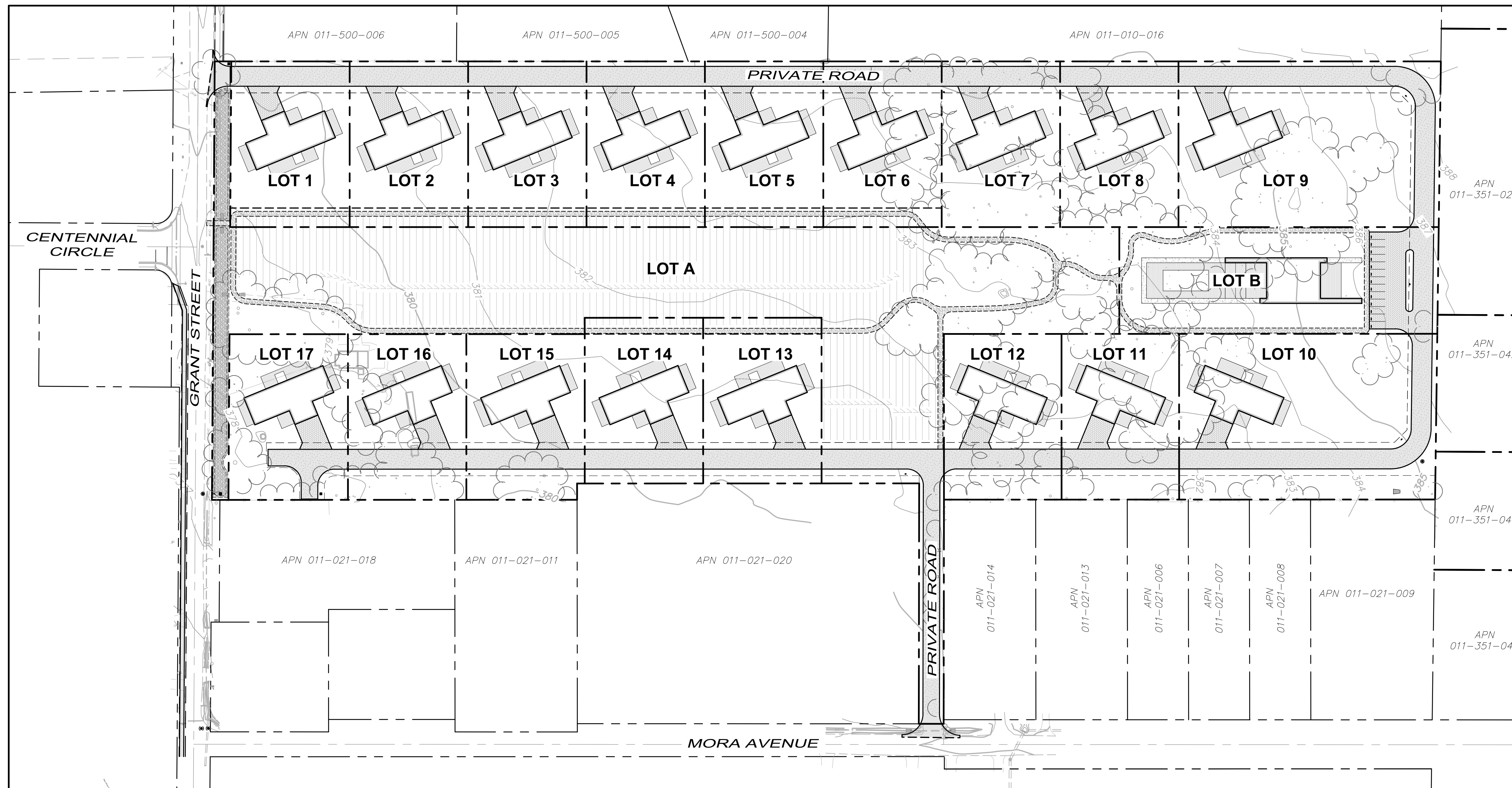
BASIS OF BEARINGS:

S 30°01'30" W, BEING THE BEARING OF THE MONUMENTED CENTERLINE OF MICHAEL WAY, AS SHOWN ON "CITY OF CALISTOGA PARCEL MAP" FILED AUGUST 8, 2007, IN BOOK 25 OF PARCEL MAPS, PAGES 74-76, NAPA COUNTY RECORDS.

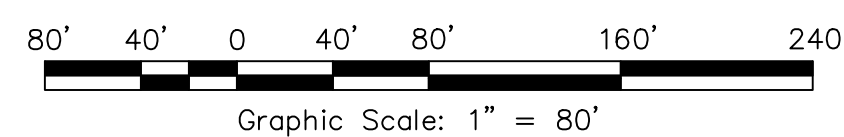
BENCHMARK

CITY OF CALISTOGA BENCHMARK "BM 3", TOP OF BRASS DISK IN CONCRETE IN MONUMENT BOX IN GRANT STREET, ±200' EAST OF THE INTERSECTION WITH ARCH WAY, ±13' WEST OF ENTRY TO SCHOOL, 3.7' FROM SOUTH FACE OF CURB.

ELEVATION = 360.84' (NAVD 1988 DATUM). SEE CITY OF CALISTOGA RECORD OF SURVEY FILED IN BOOK 44 OF SURVEYS, AT PAGES 49-50, NAPA COUNTY RECORDS.

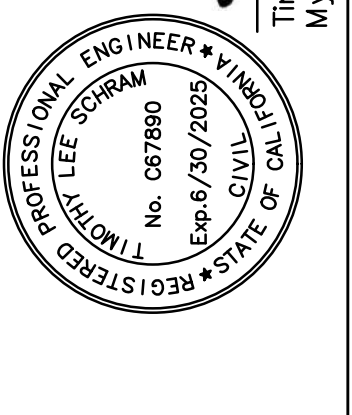


OVERALL SITE PLAN



No.	Date	Description	Approved

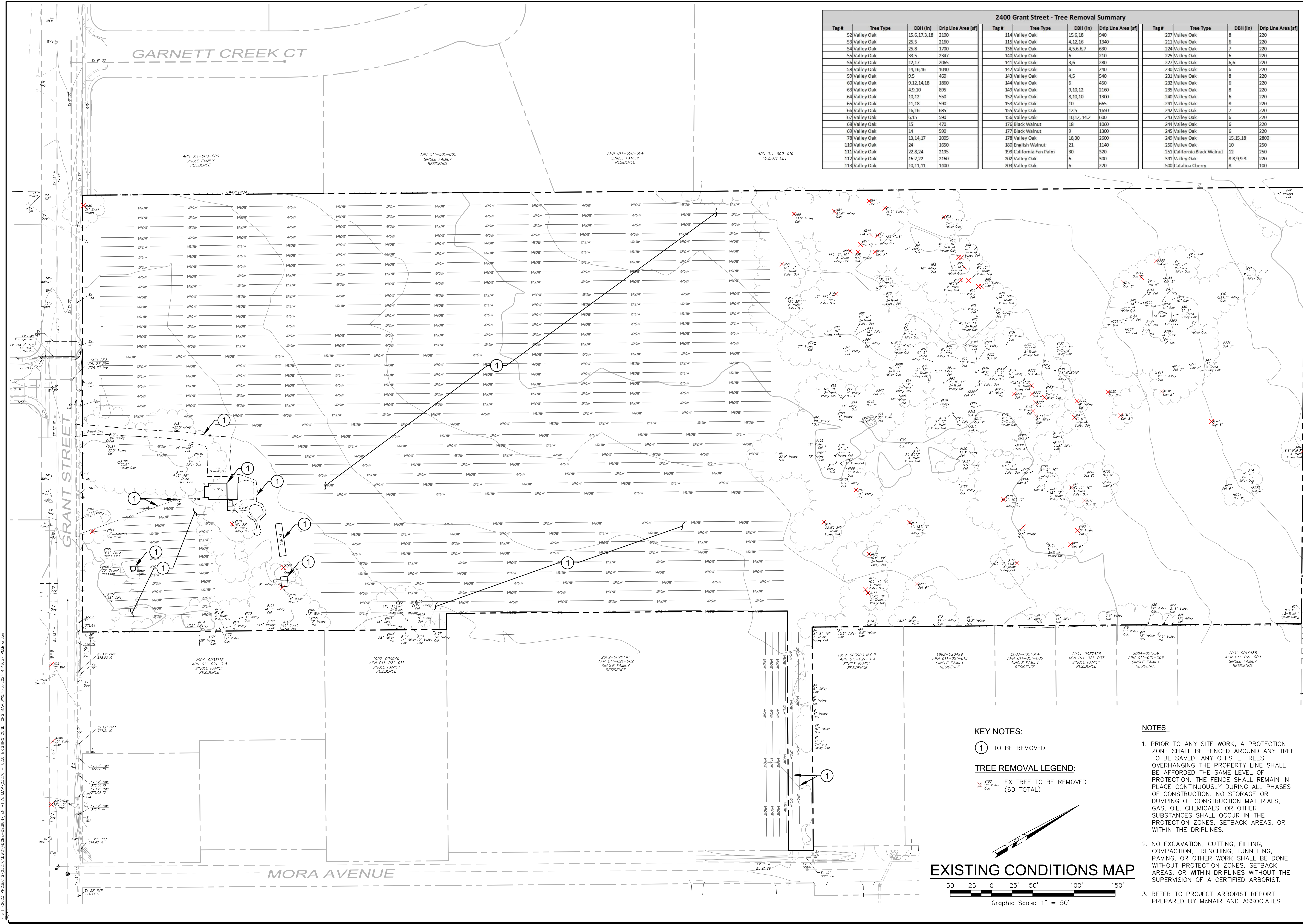
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TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
TITLE SHEET
2400 Grant Street
Calistoga, California
APN 011-010-057

SCALE: AS SHOWN
Date: April 3, 2024
Design by: JAL
Drawn by: JAL
Checked by: BC

Sheet
C1.0
1 of 10 Sheets
Job 23270



2400 Grant Street - Tree Removal Summary											
Tag #	Tree Type	DBH (in)	Drip Line Area (sf)	Tag #	Tree Type	DBH (in)	Drip Line Area (sf)	Tag #	Tree Type	DBH (in)	Drip Line Area (sf)
52	Valley Oak	15.6,17.3,18	2100	114	Valley Oak	15.6,18	940	207	Valley Oak	8	220
53	Valley Oak	25.5	2160	115	Valley Oak	4,12,16	1340	211	Valley Oak	6	220
54	Valley Oak	25.8	1700	136	Valley Oak	4,5,6,7	630	224	Valley Oak	7	220
55	Valley Oak	33.5	2347	140	Valley Oak	6	210	225	Valley Oak	6	220
56	Valley Oak	12,17	2065	141	Valley Oak	3,6	280	227	Valley Oak	6,6	220
58	Valley Oak	14,16,16	1040	142	Valley Oak	6	240	228	Valley Oak	6	220
59	Valley Oak	9.5	460	143	Valley Oak	4,5	540	231	Valley Oak	8	220
60	Valley Oak	9,12,14,18	1860	144	Valley Oak	6	450	232	Valley Oak	6	220
63	Valley Oak	4,9,10,18	895	149	Valley Oak	9,10,12	2160	235	Valley Oak	8	220
64	Valley Oak	10,12	550	152	Valley Oak	8,10,10	1300	240	Valley Oak	6	220
65	Valley Oak	11,18	590	153	Valley Oak	10	665	241	Valley Oak	8	220
66	Valley Oak	16,16	685	155	Valley Oak	12,5	1650	242	Valley Oak	7	220
67	Valley Oak	6,15	590	156	Valley Oak	10,12,14,2	600	243	Valley Oak	6	220
68	Valley Oak	15	470	176	Black Walnut	18	2600	244	Valley Oak	6	220
69	Valley Oak	14	500	177	Black Walnut	9	1300	245	Valley Oak	6	220
78	Valley Oak	13,14,17	2005	178	Valley Oak	18,30	2600	249	Valley Oak	15,15,18	2800
110	Valley Oak	24	1650	180	English Walnut	21	1140	250	Valley Oak	10	250
111	Valley Oak	22,8,24	2195	193	California Fan Palm	30	320	251	California Black Walnut	12	250
112	Valley Oak	16,2,22	2160	202	Valley Oak	6	300	391	Valley Oak	8,8,9,9,3	220
113	Valley Oak	10,11,11	1400	203	Valley Oak	6	220	500	Catalina Cherry	8	100

KEY NOTES:

① TO BE REMOVED.

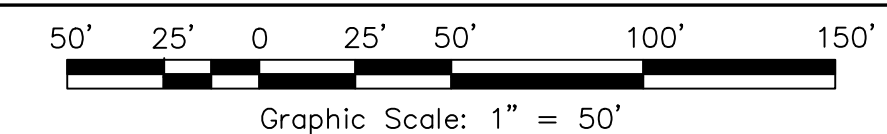
TREE REMOVAL LEGEND:

✗ EX TREE TO BE REMOVED (60 TOTAL)

NOTES:

- PRIOR TO ANY SITE WORK, A PROTECTION ZONE SHALL BE FENCED AROUND ANY TREE TO BE SAVED. ANY OFFSITE TREES OVERHANGING THE PROPERTY LINE SHALL BE AFFORDED THE SAME LEVEL OF PROTECTION. THE FENCE SHALL REMAIN IN PLACE CONTINUOUSLY DURING ALL PHASES OF CONSTRUCTION. NO STORAGE OR DUMPING OF CONSTRUCTION MATERIALS, GAS, OIL, CHEMICALS, OR OTHER SUBSTANCES SHALL OCCUR IN THE PROTECTION ZONES, SETBACK AREAS, OR WITHIN THE DRIP LINES.
- NO EXCAVATION, CUTTING, FILLING, COMPACTION, TRENCHING, TUNNELING, PAVING, OR OTHER WORK SHALL BE DONE WITHOUT PROTECTION ZONES, SETBACK AREAS, OR WITHIN DRIP LINES WITHOUT THE SUPERVISION OF A CERTIFIED ARBORIST.
- REFER TO PROJECT ARBORIST REPORT PREPARED BY McNAIR AND ASSOCIATES.

EXISTING CONDITIONS MAP



SCALE: AS SHOWN

Date: April 3, 2024

Design by: JAL

Drawn by: JAL

Checked by: BC

Revisions

No.	Date	Description	Approved

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TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
EXISTING CONDITIONS MAP
2400 Grant Street
Calistoga, California
APN 011-010-057

Timothy L. Schram, RCE 67890
My license expires 6/30/2025

APN 011-500-006 SINGLE FAMILY RESIDENCE

APN 011-500-005 SINGLE FAMILY RESIDENCE

APN 011-500-004 SINGLE FAMILY RESIDENCE

APN 011-500-016 VACANT LOT

2004-0033115 APN 011-021-018 SINGLE FAMILY RESIDENCE

1997-005640 APN 011-021-011 SINGLE FAMILY RESIDENCE

2002-0028547 APN 011-021-014 SINGLE FAMILY RESIDENCE

1999-003900 N.C.R. APN 011-021-014 SINGLE FAMILY RESIDENCE

1992-020499 APN 011-021-013 SINGLE FAMILY RESIDENCE

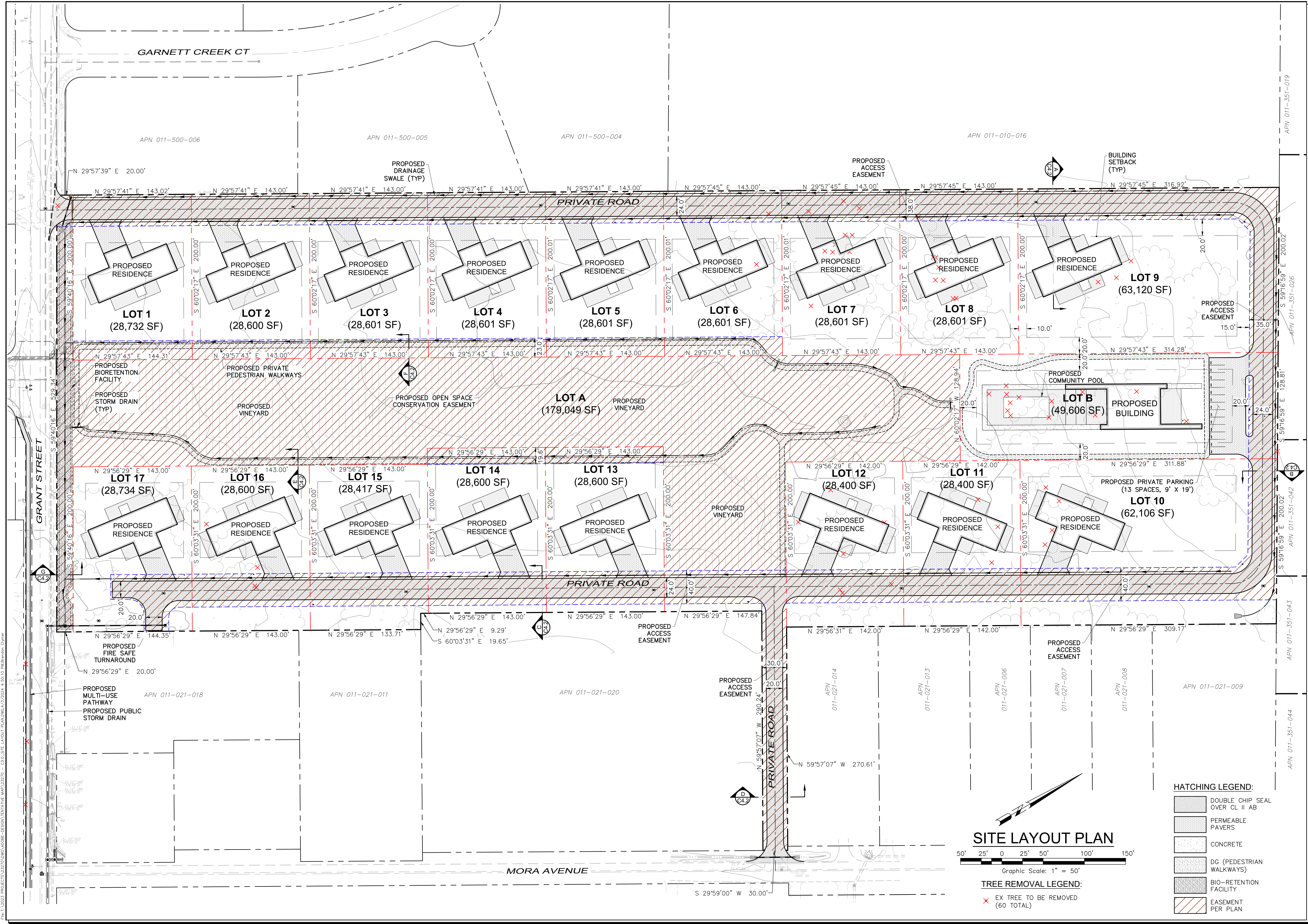
2003-0025384 APN 011-021-008 SINGLE FAMILY RESIDENCE

2004-0037826 APN 011-021-007 SINGLE FAMILY RESIDENCE

2004-0017589 APN 011-021-008 SINGLE FAMILY RESIDENCE

2001-0014488 APN 011-021-009 SINGLE FAMILY RESIDENCE

File T:\2024\PROJECTS\2400 GRANT STREET - DESIGN TENTATIVE MAP.DWG - CS - EXISTING CONDITIONS MAP.DWG - 4/2/2024 4:49:57 PM (Revision)



SITE LAYOUT PLAN
 50' 25' 0 25' 50' 100' 150'
 Graphic Scale: 1" = 50'

- HATCHING LEGEND:**
- DOUBLE CHIP SEAL OVER CL II AB
 - PERMEABLE PAVERS
 - CONCRETE
 - DG (PEDESTRIAN WALKWAYS)
 - BIO-RETENTION FACILITY
 - EASEMENT PER PLAN
- TREE REMOVAL LEGEND:**
- EX TREE TO BE REMOVED (60 TOTAL)

SCALE: AS SHOWN

Date: April 3, 2024
 Design by: JAL
 Drawn by: JAL
 Checked by: BC

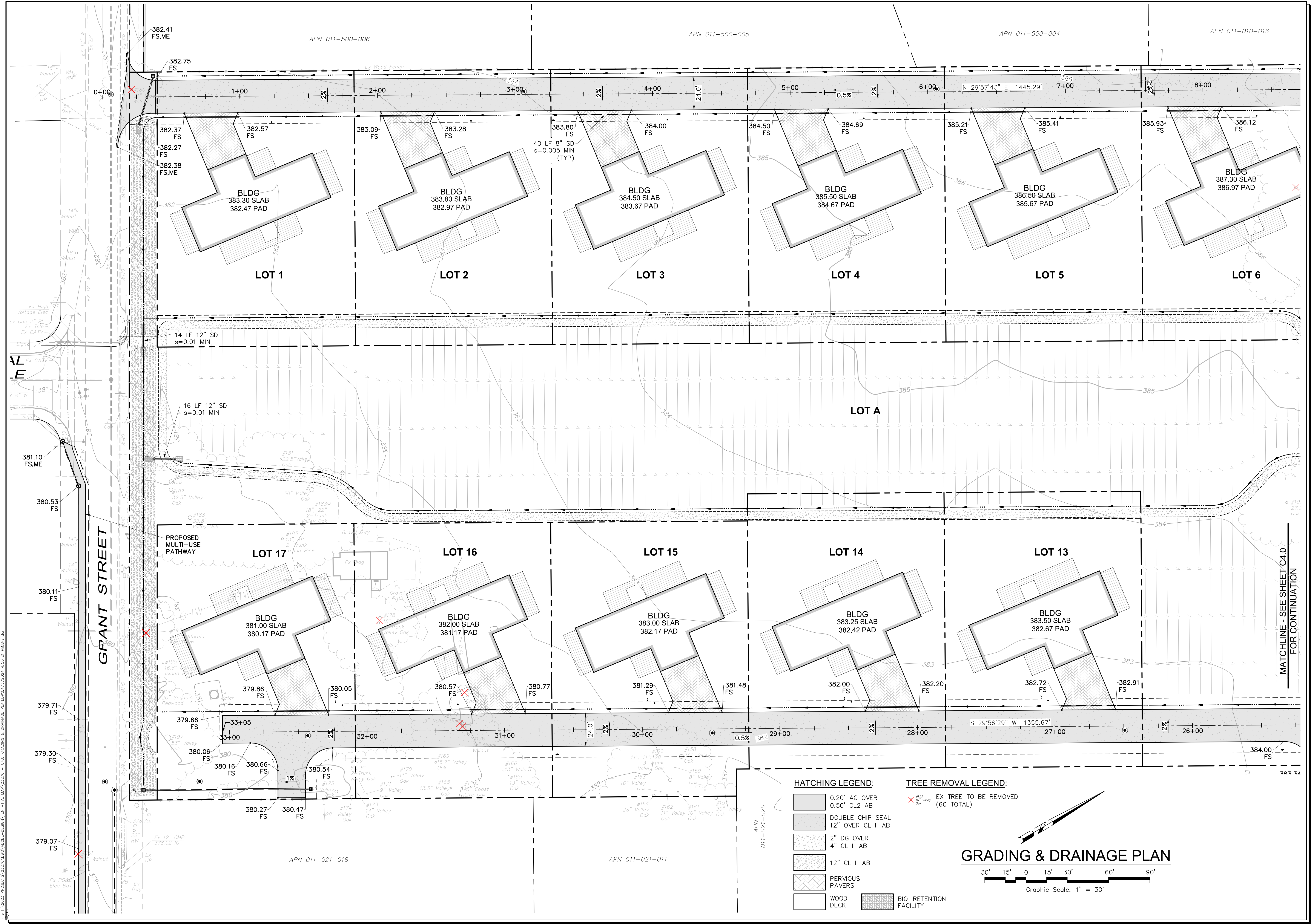
Sheet
C3.0
 3 of 10 Sheets
 Job 23270

TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
SITE LAYOUT PLAN
 2400 Grant Street
 Calistoga, California
 APN 011-010-057

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TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
GRADING & DRAINAGE PLAN
 2400 Grant Street
 Calistoga, California
 APN 011-010-057

SCALE: AS SHOWN
 Date: April 3, 2024
 Design by: JAL
 Drawn by: JAL
 Checked by: BC

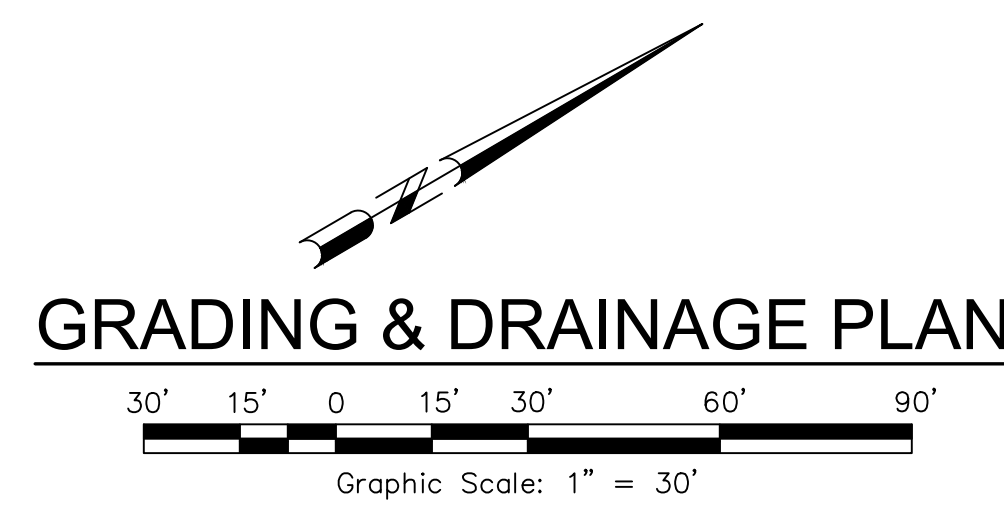
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C4.0
 4 of 10 Sheets
 Job 23270



TREE REMOVAL LEGEND:
 ✕ EX TREE TO BE REMOVED (60 TOTAL)

HATCHING LEGEND:

- 0.20" AC OVER
- 0.50" CL2 AB
- DOUBLE CHIP SEAL
- 12" OVER CL II AB
- 2" DG OVER
- 4" CL II AB
- 12" CL II AB
- PERVIOUS PAVERS
- WOOD DECK
- 4" PCC OVER
- 4" CLII AB



GRADING & DRAINAGE PLAN

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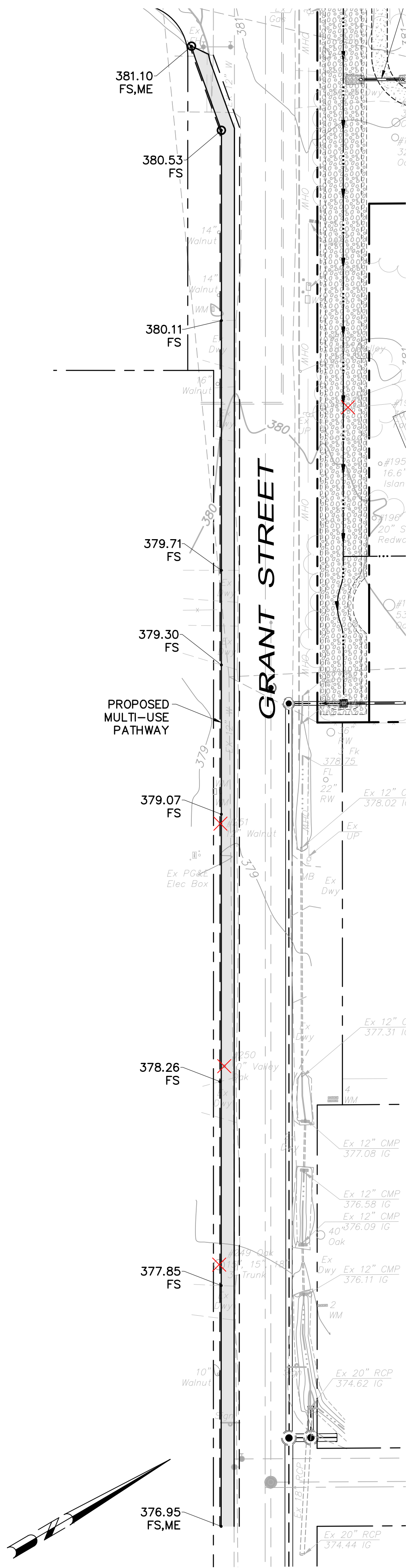
TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
GRADING & DRAINAGE PLAN
 2400 Grant Street
 Calistoga, California
 APN 011-010-057

SCALE: AS SHOWN
 Date: April 3, 2024
 Design by: JAL
 Drawn by: JAL
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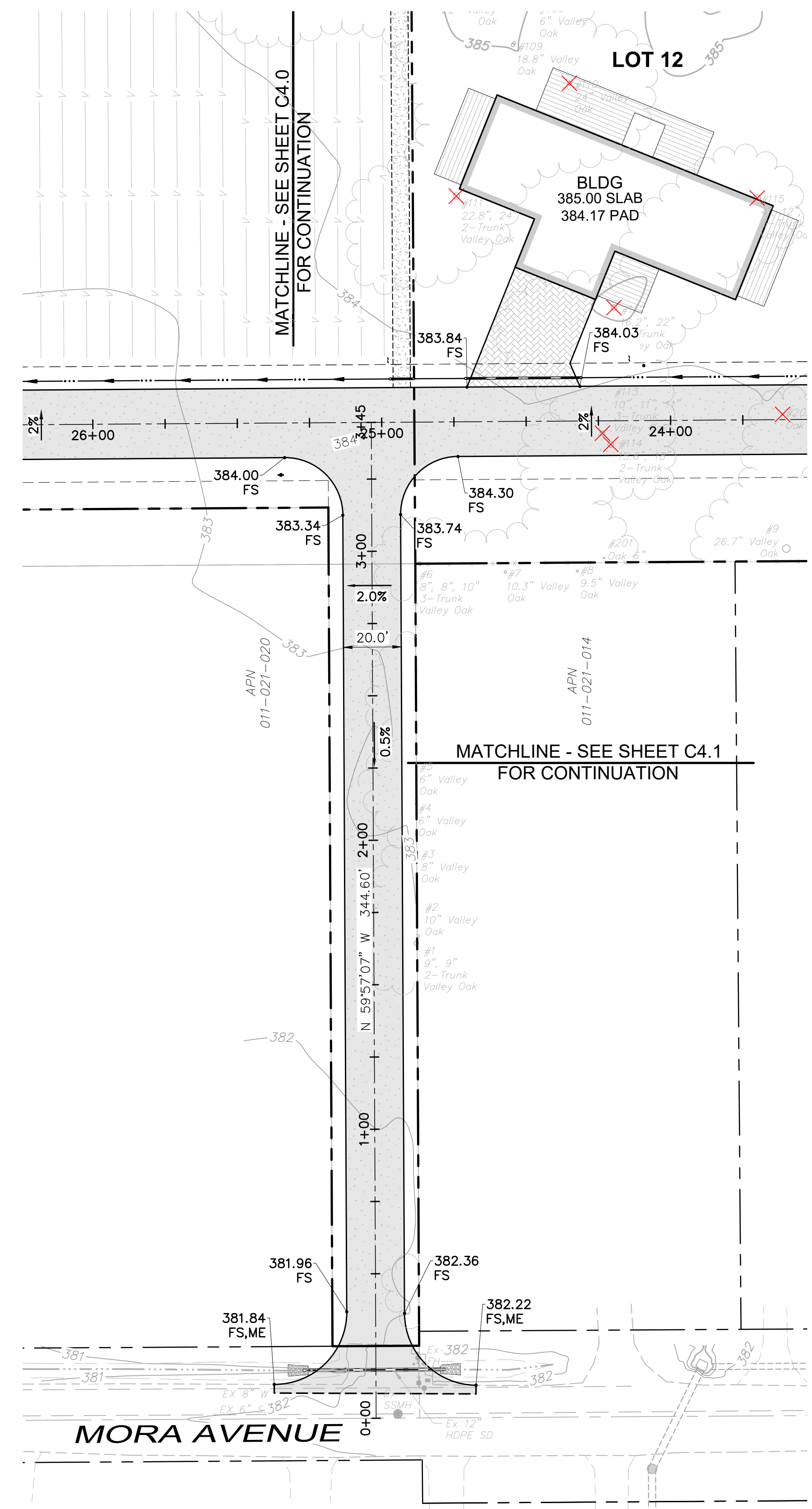
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C4.1
 5 of 10 Sheets
 Job 23270

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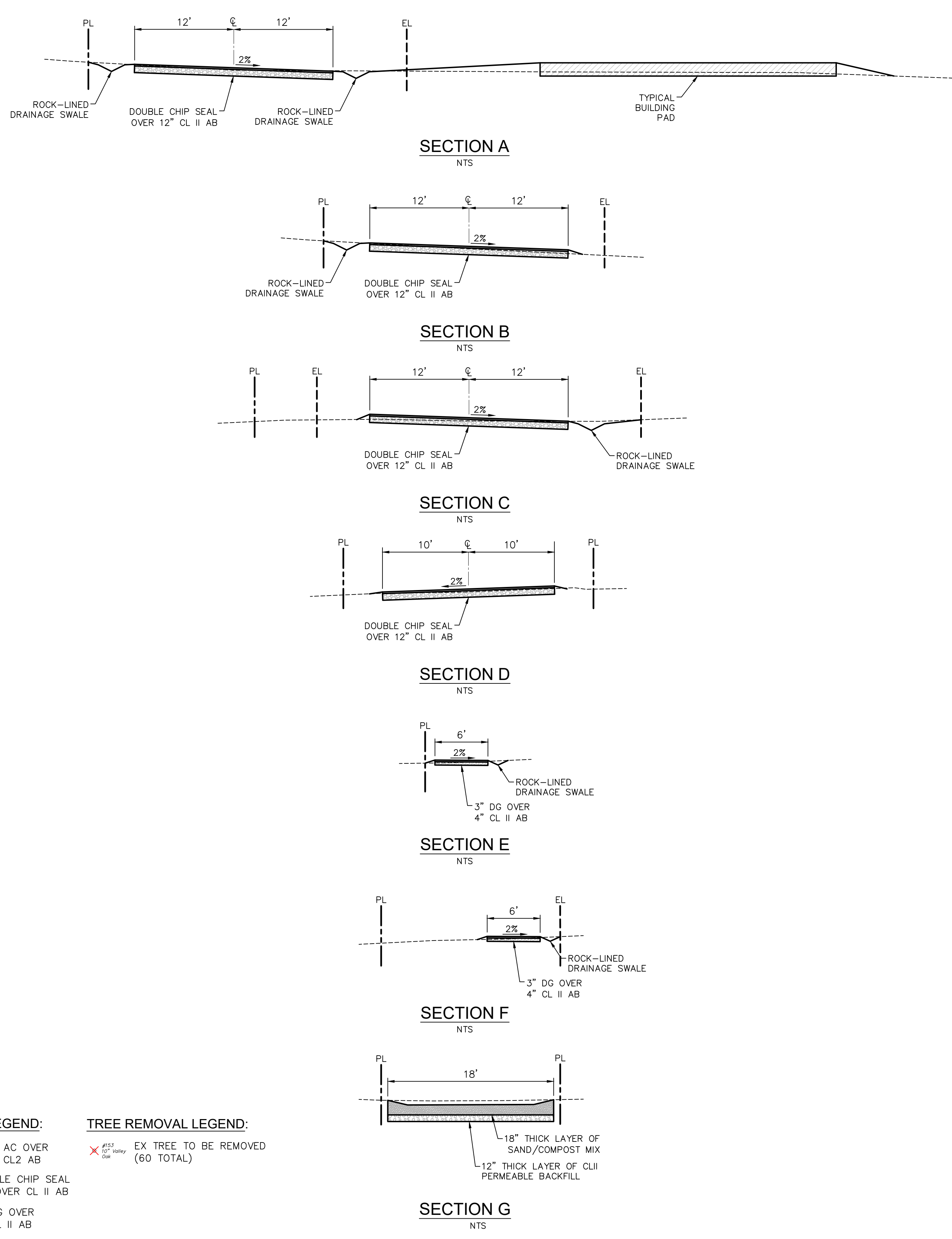
GRADING & DRAINAGE PLAN



GRADING & DRAINAGE PLAN

- HATCHING LEGEND:**
- 0.20' AC OVER 0.50' CL2 AB
 - DOUBLE CHIP SEAL 12' OVER CL II AB
 - 2" DG OVER 4" CL II AB
 - 12" CL II AB
 - PERVIOUS PAVERS
 - WOOD DECK

- TREE REMOVAL LEGEND:**
- EX TREE TO BE REMOVED (60 TOTAL)



SCALE: AS SHOWN

TENTATIVE MAP

2400 GRANT STREET SUBDIVISION

GRADING & DRAINAGE PLAN

2400 Grant Street
Calistoga, California
APN 011-010-057

Revisions

No.	Date	Description	Approved

DATE: April 3, 2024

DESIGN BY: JAL

DRAWN BY: JAL

CHECKED BY: BC

Sheet

C4.2

6 of 10 Sheets

Job 23270

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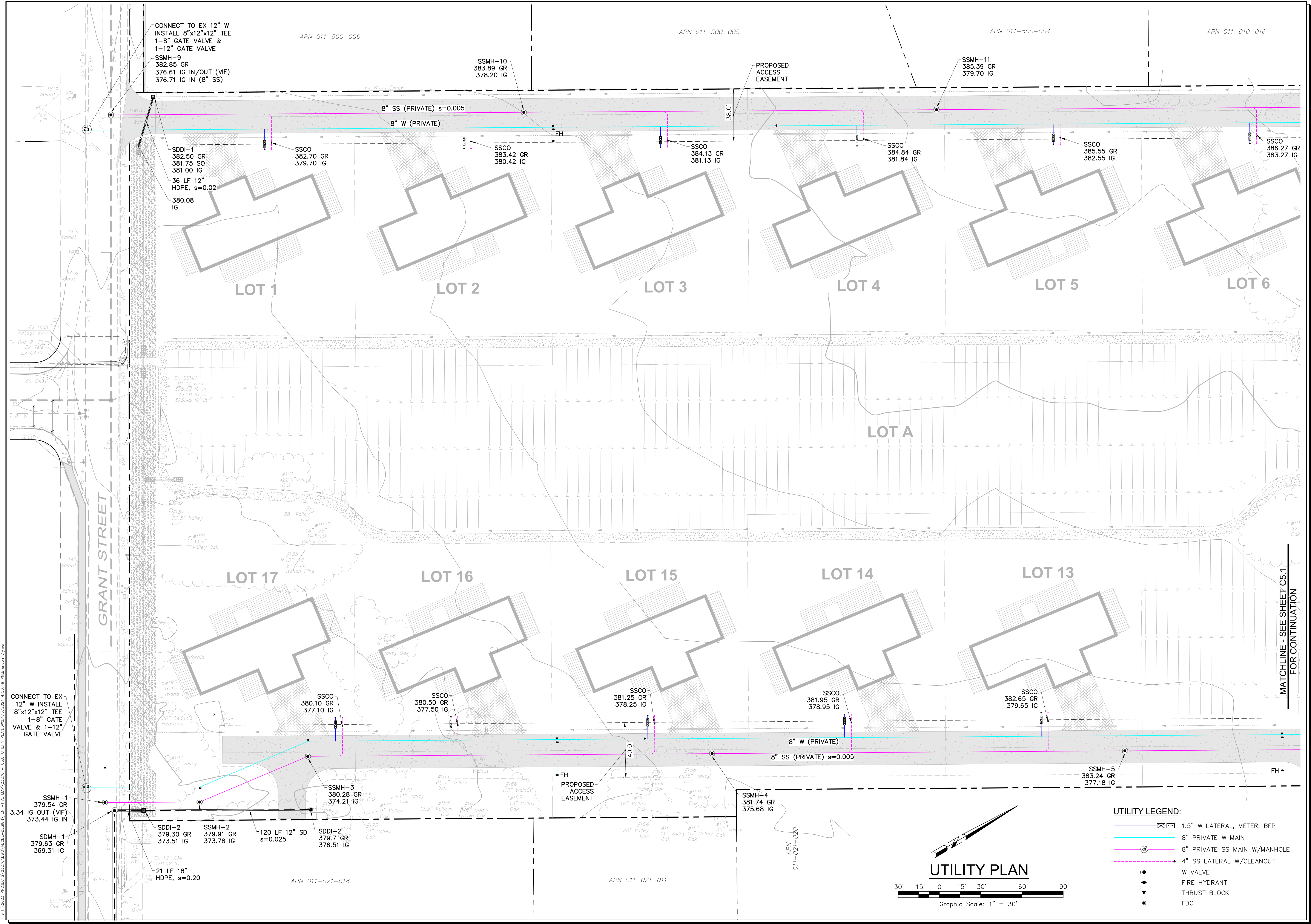
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CONNECT TO EX 12" W
INSTALL 8"x12"x12" TEE
1-8" GATE VALVE &
1-12" GATE VALVE

SDDI-1
382.50 GR
381.75 SO
381.00 IG
36 LF 12"
HDPE, s=0.02
380.08
IG

SSMH-10
383.89 GR
378.20 IG

PROPOSED
ACCESS
EASEMENT

SSMH-11
385.39 GR
379.70 IG

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6

LOT A

LOT 17

LOT 16

LOT 15

LOT 14

LOT 13

MATCHLINE - SEE SHEET C5.1
FOR CONTINUATION

CONNECT TO EX 12" W
INSTALL 8"x12"x12" TEE
1-8" GATE VALVE &
1-12" GATE VALVE

SSMH-1
379.54 GR
379.63 GR
373.44 IG

SSCO
380.10 GR
377.10 IG

SSCO
380.50 GR
377.50 IG

SSCO
381.25 GR
378.25 IG

SSCO
381.95 GR
378.95 IG

SSCO
382.65 GR
379.65 IG

SSMH-5
383.24 GR
377.18 IG

SDDI-2
379.30 GR
373.51 IG

SSMH-2
379.91 GR
373.78 IG

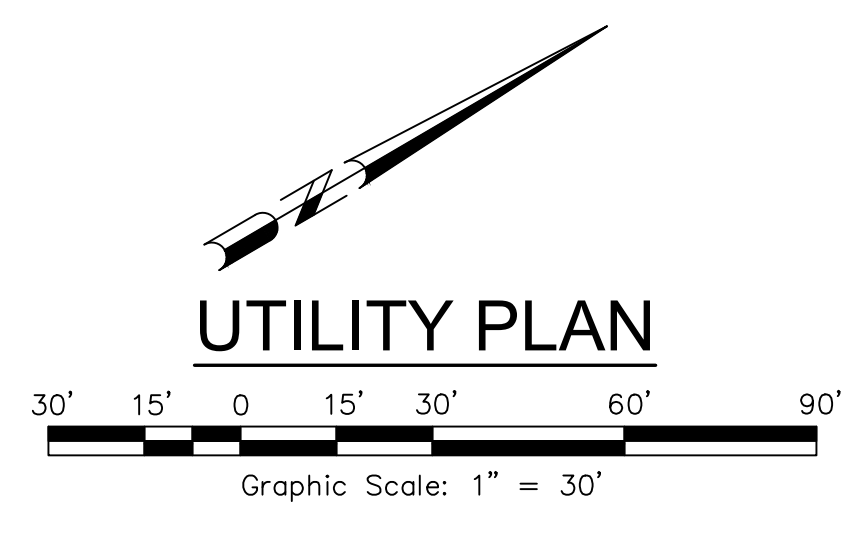
SDDI-2
379.7 GR
376.51 IG

PROPOSED
ACCESS
EASEMENT

SSMH-4
381.74 GR
375.68 IG

APN 011-021-018

APN 011-021-011



- UTILITY LEGEND:**
- 1.5" W LATERAL, METER, BFP
 - 8" PRIVATE W MAIN
 - 8" PRIVATE SS MAIN W/MANHOLE
 - 4" SS LATERAL W/CLEANOUT
 - W VALVE
 - FIRE HYDRANT
 - THRUST BLOCK
 - FDC

revisions

No.	Date	Description	Approved

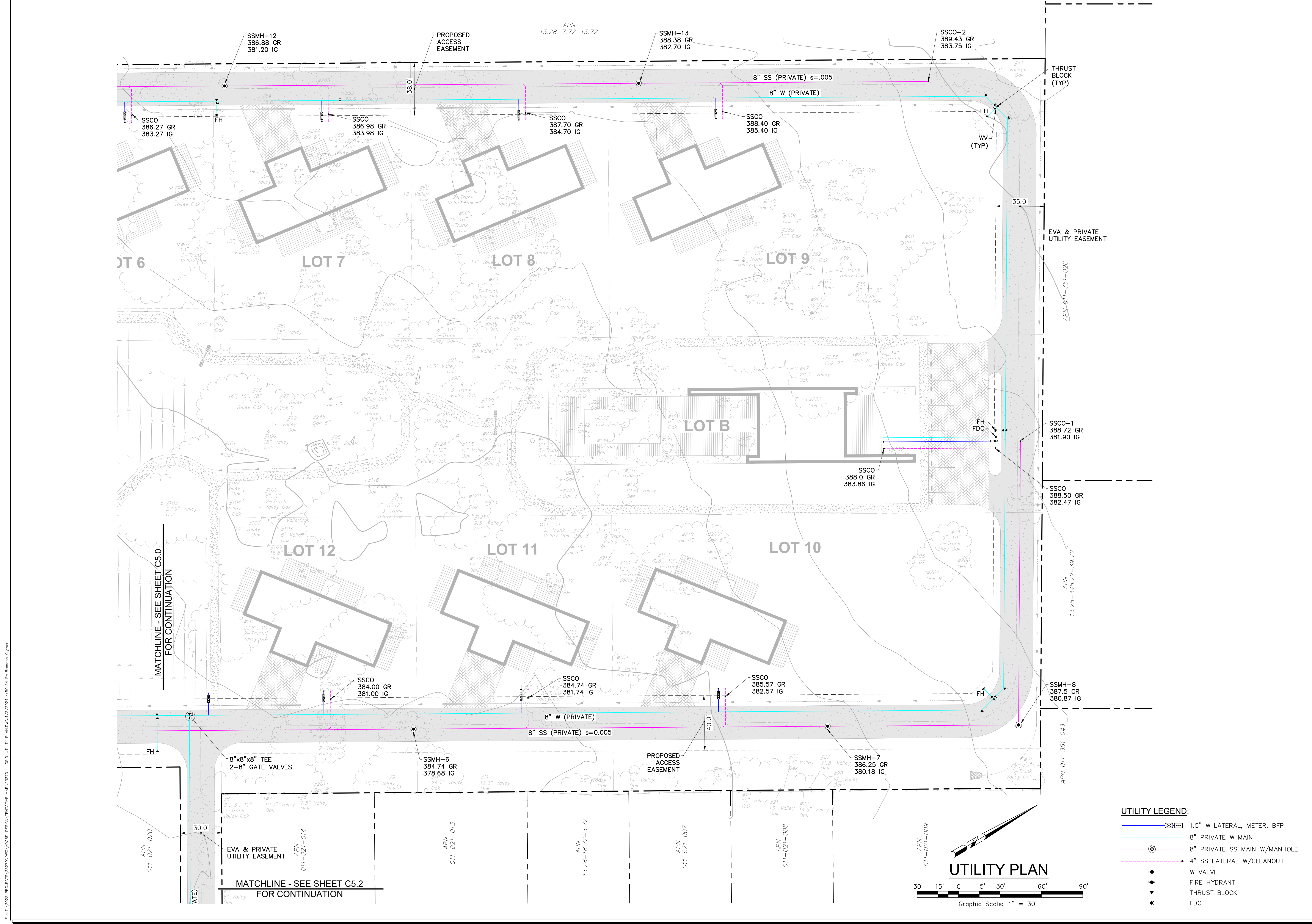
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TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
UTILITY PLAN
2400 Grant Street
Calistoga, California
APN 011-010-057

SCALE: AS SHOWN
Date: April 3, 2024
Design by: JAL
Drawn by: JAL
Checked by: BC

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TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
UTILITY PLAN
 2400 Grant Street
 Calistoga, California
 APN 011-010-057

UTILITY LEGEND:

- 1.5" W LATERAL, METER, BFP
- 8" PRIVATE W MAIN
- 8" PRIVATE SS MAIN W/MANHOLE
- 4" SS LATERAL W/CLEANOUT
- W VALVE
- FIRE HYDRANT
- THRUST BLOCK
- FDC

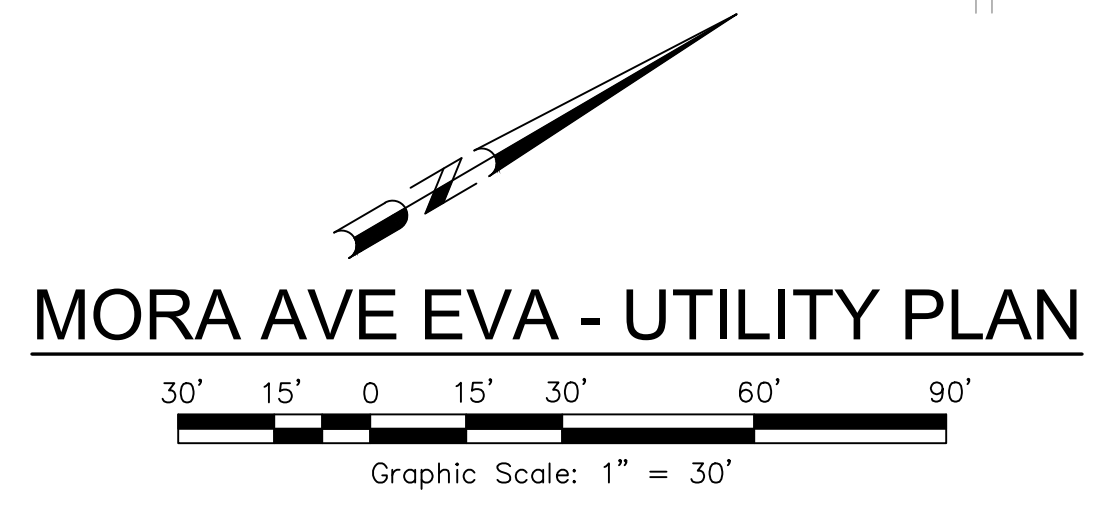
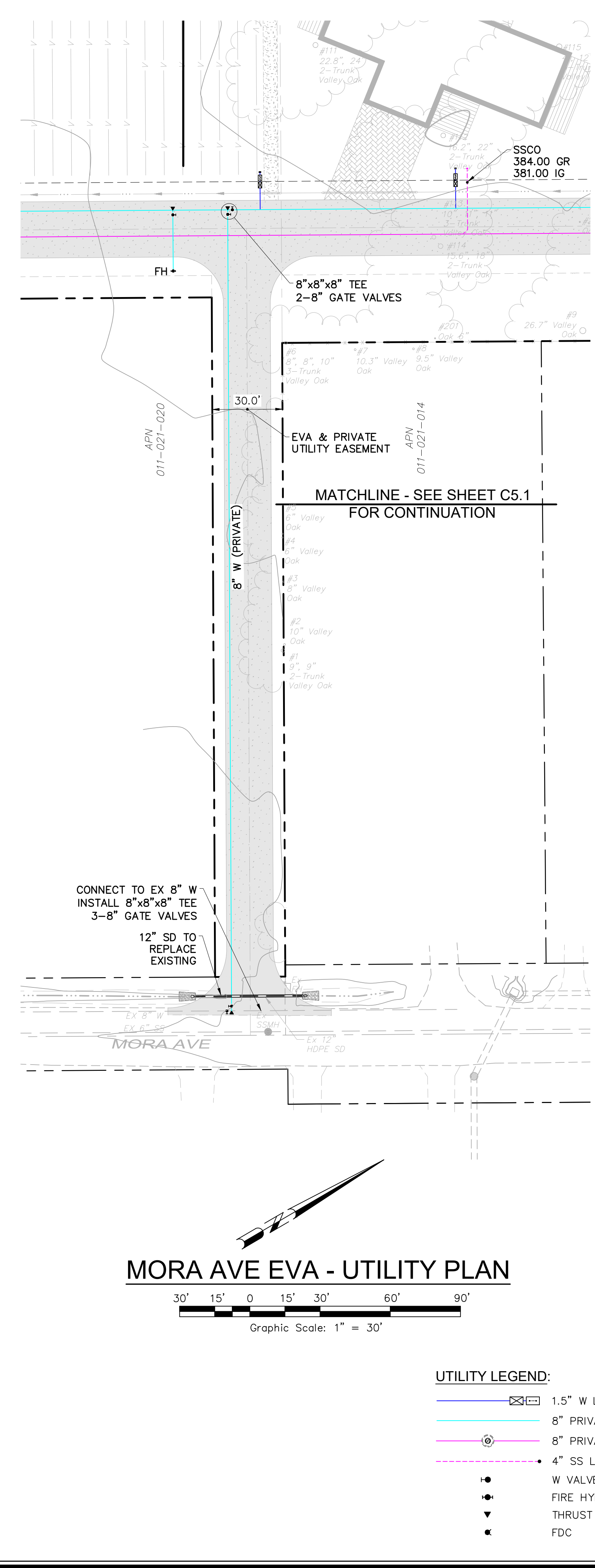
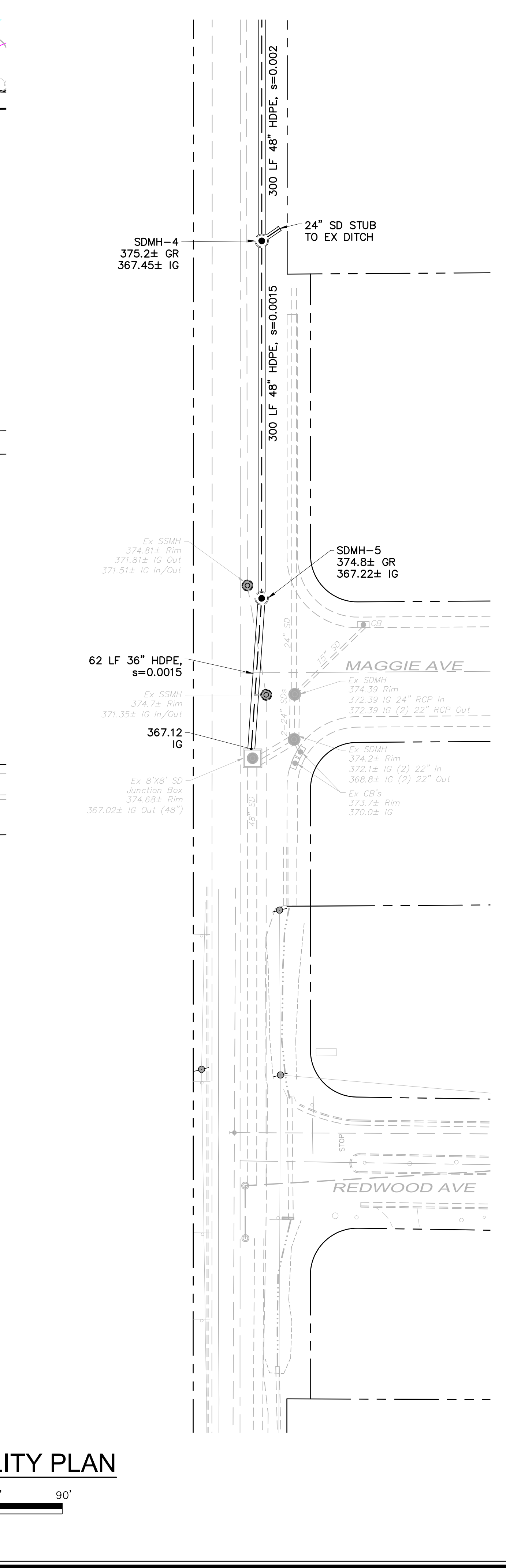
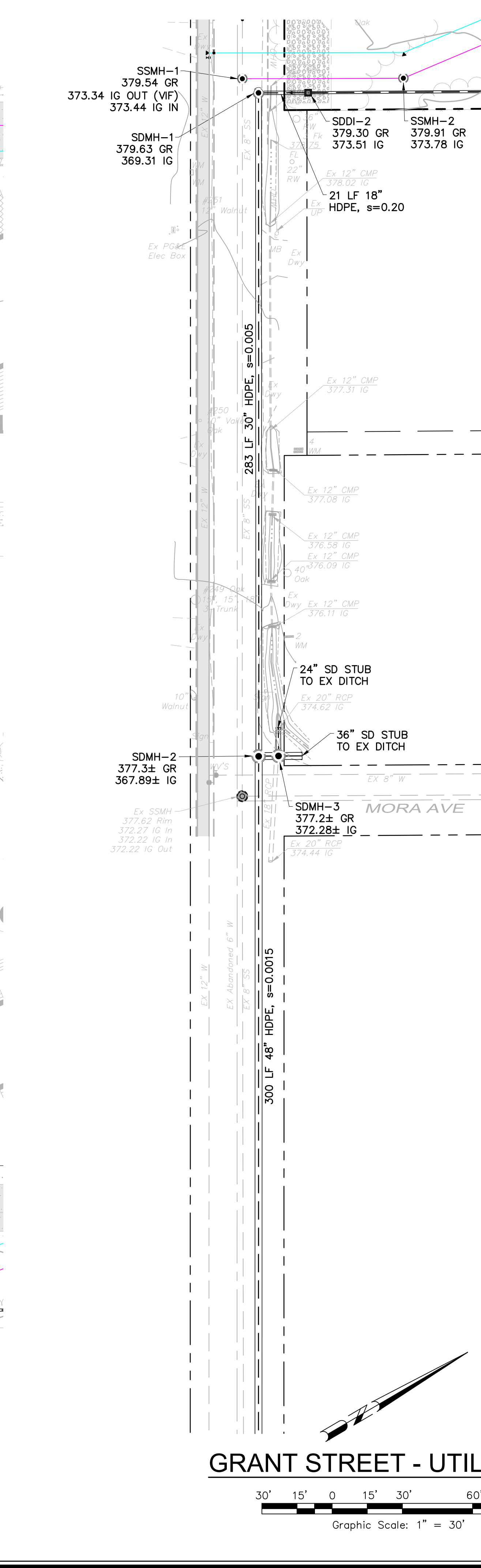
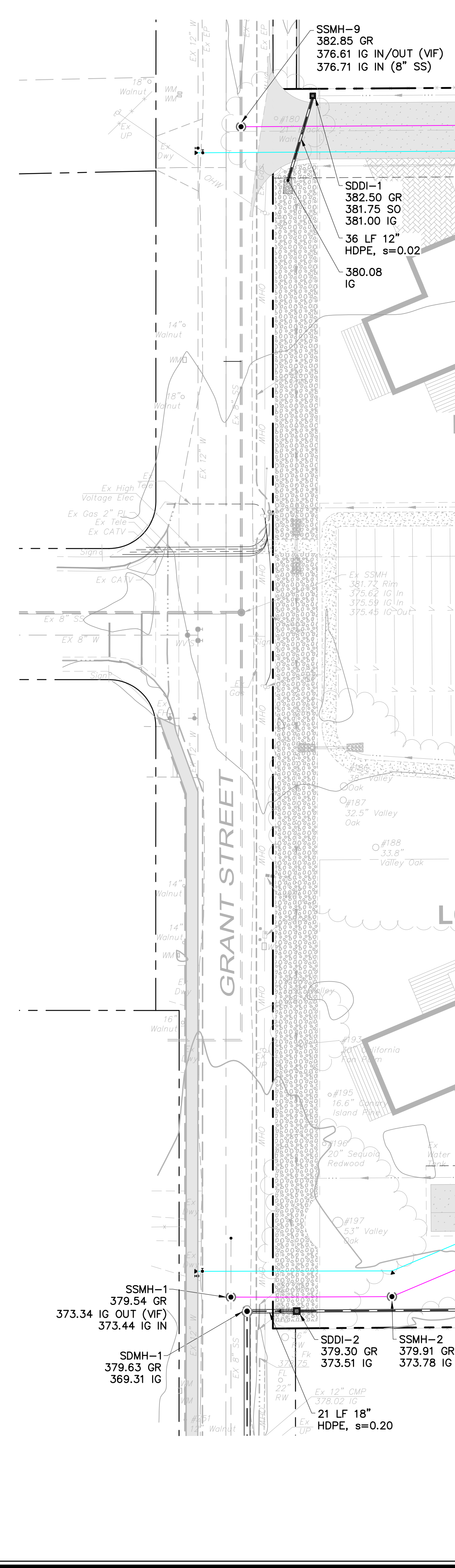
UTILITY PLAN
 30' 15' 0 15' 30' 60' 90'
 Graphic Scale: 1" = 30'

SCALE: AS SHOWN
 Date: April 3, 2024
 Design by: JAL
 Drawn by: JAL
 Checked by: BC

Sheet
C5.1
 8 of 10 Sheets
 Job 23270

Professional Engineer Seal: Timothy L. Schram, RCE 67890, My license expires 6/30/2025

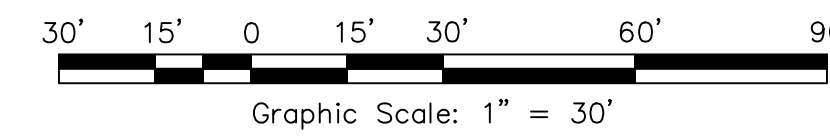
File E:\2024\PROJECTS\2400\GRANT\DESIGN\TENTATIVE MAP\2400 - CS-5\UTILITY PLAN\04/2/2024 4:31:05 PM\Revision.dwg



UTILITY LEGEND:

	1.5" W LATERAL, METER, BFP
	8" PRIVATE W MAIN
	8" PRIVATE SS MAIN W/MANHOLE
	4" SS LATERAL W/CLEANOUT
	W VALVE
	FIRE HYDRANT
	THRUST BLOCK
	FDC

GRANT STREET - UTILITY PLAN



Revisions	No.	Date	Description	Approved

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TENTATIVE MAP

2400 GRANT STREET SUBDIVISION

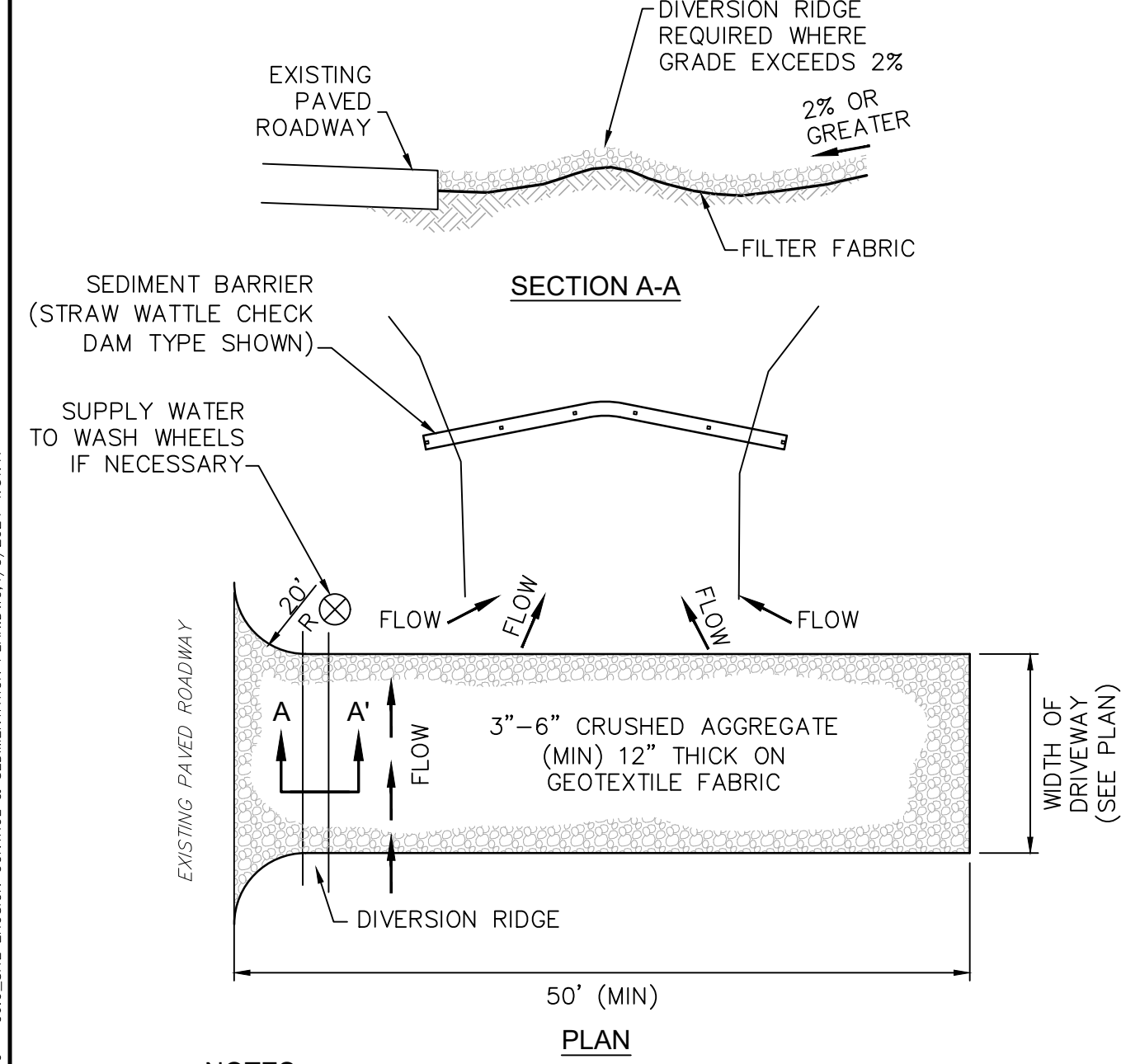
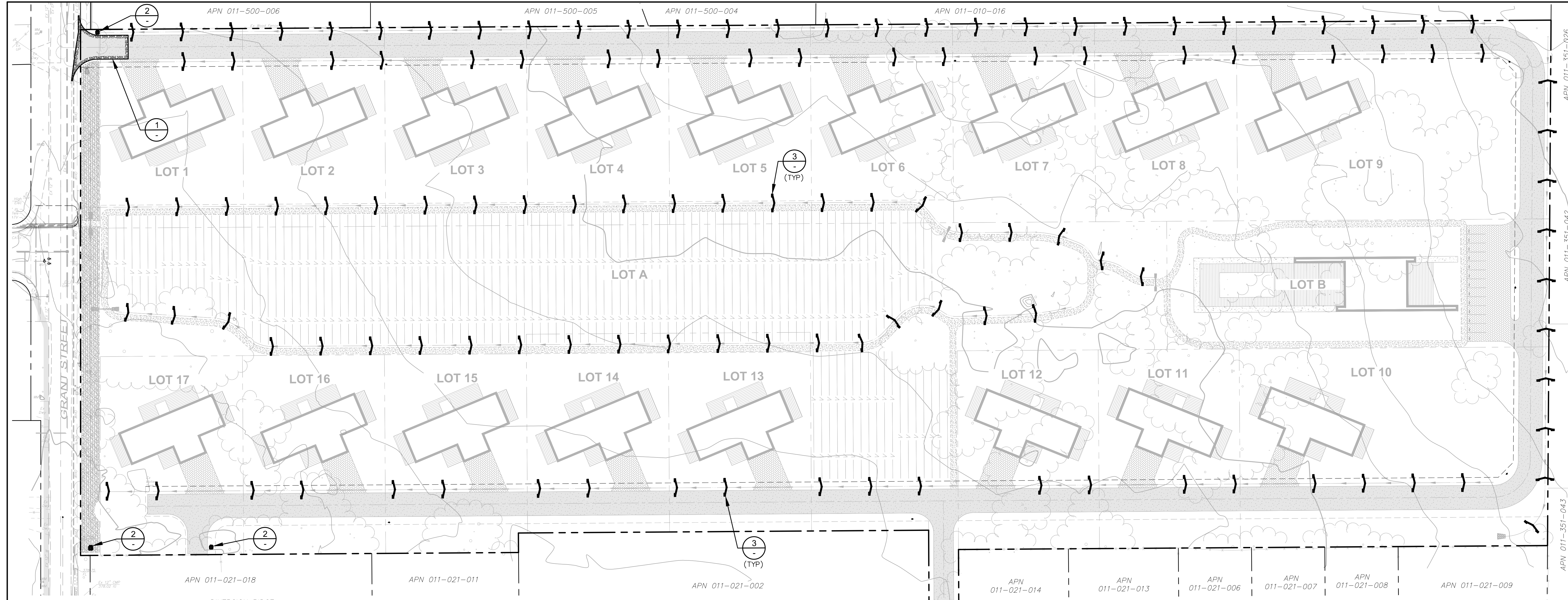
UTILITY PLAN

2400 Grant Street
Calistoga, California
APN 011-010-057

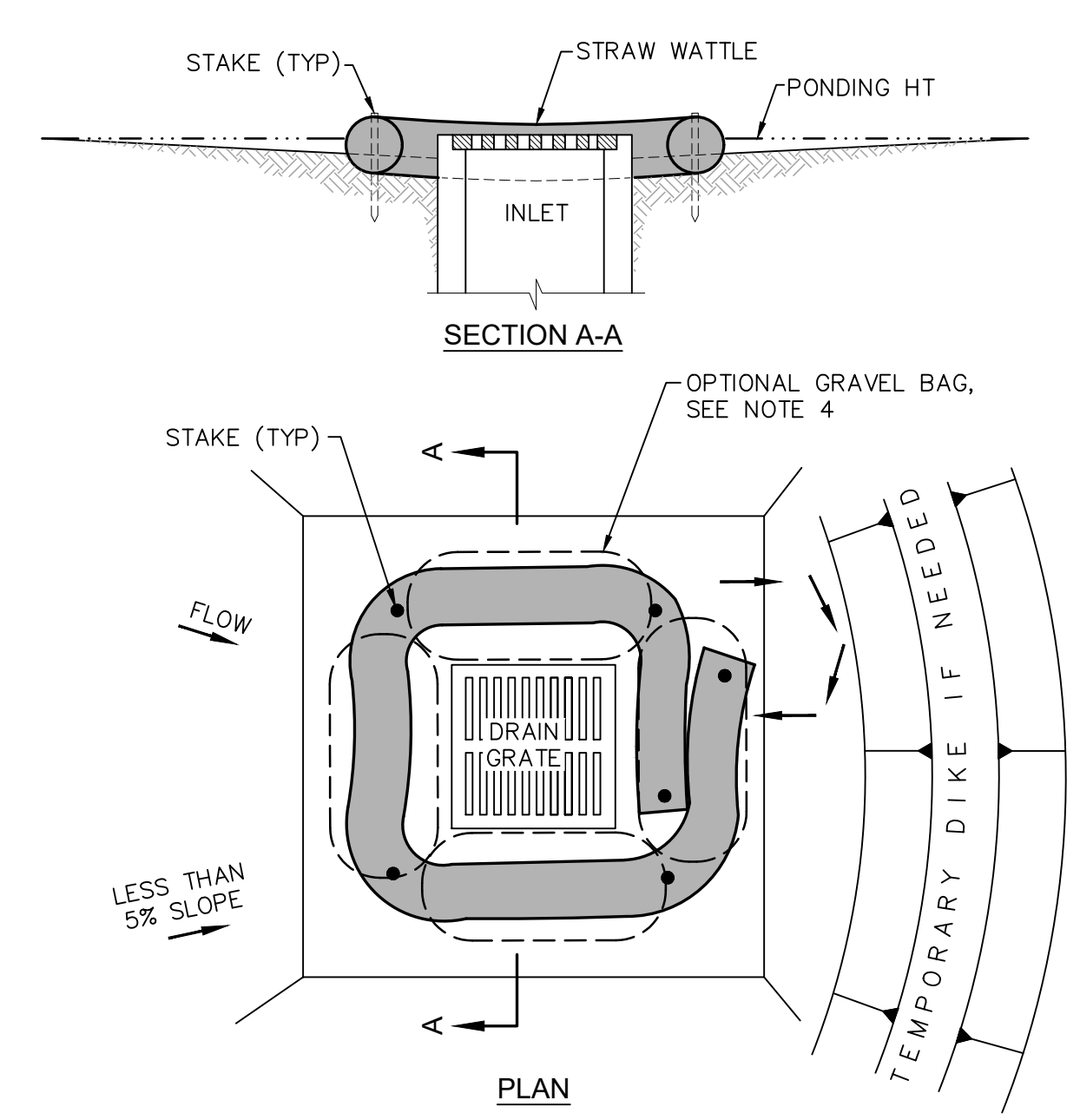
SCALE: AS SHOWN	Date: April 3, 2024	Design by: JAL	Drawn by: JAL	Checked by: BC
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Sheet **C5.2**

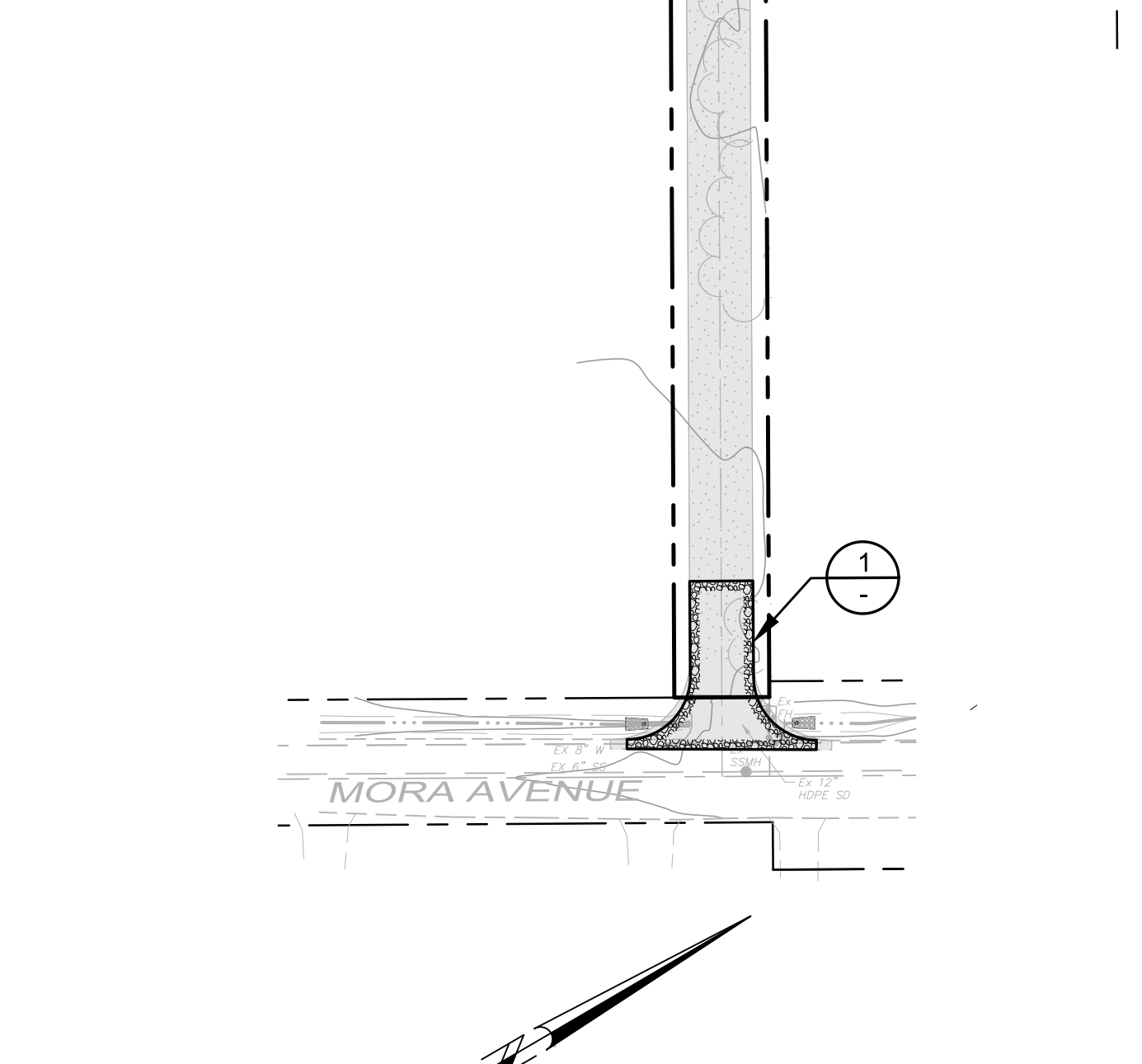
9 of 10 Sheets
Job 23270



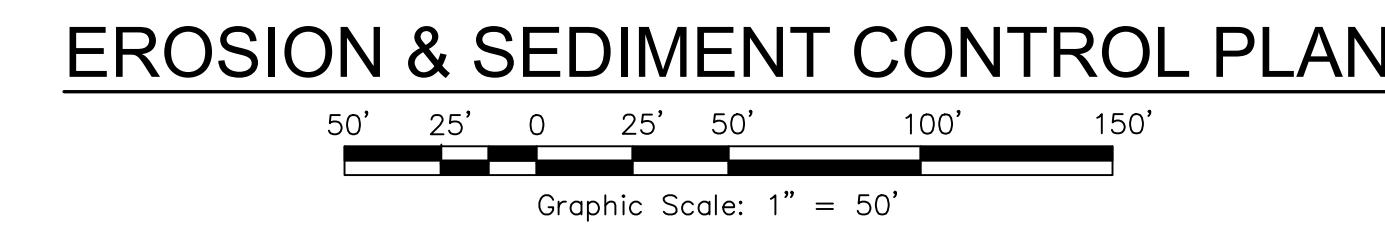
- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



- NOTES:**
1. INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
 2. USE 1X4 WOOD OR EQUIVALENT METAL STAKES, (3 FT MIN LENGTH).
 3. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
 4. GRAVEL BAGS TO BE USED IN LIEU OF STRAW WATTLE AFTER PAVEMENT HAS BEEN INSTALLED.



- NOTES:**
1. EMBED WATTLES 4" (100mm) INTO THE SOIL AND 'KEY' WATTLES INTO THE SWALE BANKS.
 2. POINT "A" MUST BE HIGHER THAN POINT "B". (SPILLWAY HEIGHT)
 3. PLACE WATTLES PERPENDICULAR TO THE FLOW WITH ENDS TIGHTLY ABUTTING.
 4. INSPECT AFTER EACH SIGNIFICANT STORM, MAINTAIN AND REPAIR PROMPTLY.



1 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT
(IF NEEDED - VERIFY WITH ENGINEER PRIOR TO CONSTRUCTION)

2 INLET SEDIMENT BARRIER
NTS

3 STRAW WATTLE CHECK DAM
NTS

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PROFESSIONAL ENGINEER
TIMOTHY L. SCHRAM
No. 057890
Exp. 6/30/2025
CIVIL
STATE OF CALIFORNIA

TENTATIVE MAP
2400 GRANT STREET SUBDIVISION
EROSION CONTROL & SEDIMENTATION PLAN
2400 Grant Street
Calistoga, California
APN 011-010-057

SCALE: AS SHOWN
Date: April 3, 2024
Design by: JAL
Drawn by: JAL
Checked by: BC

Sheet
C6.0
10 of 10 Sheets
Job 23270

Revisions	No.	Date	Description	Approved